

**VILLAGE OF VERNON HILLS  
ORDINANCE 2021-106**

**AN ORDINANCE AUTHORIZING AN AMENDMENT TO A SPECIAL USE PERMIT  
FOR A PLANNED UNIT DEVELOPMENT AND CERTAIN OTHER APPROVALS FOR  
PROPERTY COMMONLY KNOWN AS SOUTH LAKE INDUSTRIAL CENTER, IN  
THE VILLAGE OF VERNON HILLS, LAKE COUNTY**

**WHEREAS**, representatives of South Lake Industrial Center, Building E, generally located between Milwaukee Avenue to the east and South Lake Industrial center to the west, and legally described in Exhibit A, has petitioned the Village of Vernon Hills for approval of the following:

1. Approval to amend Ordinance 2020-085 authorizing revisions to a Special Use Permit for a Planned Unit Development allowing the construction of a light industrial/warehouse building on the legally described property; and
2. Approval to amend the zoning classification from B-1 General Business to BP Business Park on legally described property formally known as the Forge Club; and
3. Granting certain variations related to the Zoning Ordinance and Sign Code; and
4. Preliminary and final site plan approvals; and
5. Preliminary and final architecture plan approvals; and
6. Preliminary and final landscape plan approvals; and
7. Preliminary and final Plat of subdivision approvals.

**WHEREAS**, upon due notice and after a public hearing held on June 9, 2021 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report and recommendation concerning said petition referenced herein; and

**WHEREAS**, based upon the evidence adduced at said hearing and in their application, the petitioner has entered into the record evidence and findings of fact that address the standards in Section 18.3 of the Zoning Ordinance; and

**WHEREAS**, the Village Board, having considered the Planning and Zoning Commissions report and recommendation at its Committee of the Whole meeting on July 20, 2021, found that sufficient facts were presented which, in its judgment, would justify approving the development referenced herein.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval to amend Ordinance 2020-085 authorizing revisions to a Special Use Permit for a Planned Unit Development allowing the construction of a light industrial/warehouse

building on the legally described property is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval to amend the zoning classification from B-1 General Business to BP Business Park on legally described property formally known as the Forge Club is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval of certain variations related to the Zoning Ordinance and Sign Code listed in Exhibit C is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval of preliminary and final site plan approval is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval of preliminary and final landscape plan approval is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION VI.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval of preliminary and final architectural plans is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION VII.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, approval of preliminary and final plat of subdivision is hereby granted, subject to the Terms and Conditions of Approval set forth in Exhibit B.

**SECTION VIII.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the Terms and Conditions of Approval as set forth in Exhibit B are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION IX. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION X. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION XI. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION XII EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

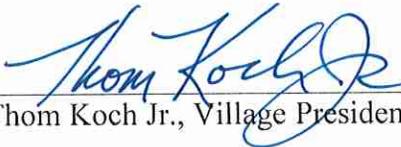
**SECTION XIII. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2021-106.

Adopted by roll call vote as follows:

AYES: 6 – Marquardt, Forster, Oppenheim, Koch, Takaoka, Schenk

NAYS: 0 – None

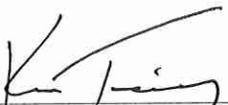
ABSENT AND NOT VOTING: 1 – Byrne

  
Thom Koch Jr., Village President Pro Tem

PASSED: 08/10/2021

APPROVED: 08/10/2021

ATTEST: 08/10/2021

  
Kevin Timony, Village Clerk



**Exhibit A**  
**Legal Description**

PROPERTY DESCRIPTION:

Parcel 1

LOT 2 IN THE CORPORATE WOODS 2ND RESUBDIVISION, BEING A SUBDIVISION OF LOTS 146 AND 147 IN THE CORPORATE WOODS, A SUBDIVISION OF PORTIONS OF SECTIONS 9,10, 15 AND 16, ALL IN TOWNSHIP 43 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID 2ND RESUBDIVISION RECORDED JANUARY 5, 1988, AS DOCUMENT NUMBER 2646033, (EXCEPT THE WESTERLY 183.00 FEET THEREOF, AS MEASURED FROM THE WESTERLY CORNER, ALONG THE SOUTH LINE THEREOF, AND PERPENDICULAR TO SAID SOUTH LINE), IN LAKE COUNTY, ILLINOIS.

Parcel 2

ALTERNATE POST SUBDIVISION DESCRIPTION:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE HOFFMAN FARM, WHICH POINT IS 19.09 CHAINS NORTH OF THE SOUTH LINE OF SAID SECTION 10 AND 15.58 CHAINS EAST OF THE WEST LINE OF SAID SECTION AND RUNNING THENCE SOUTH 86-1/2 DEGREES EAST ALONG THE NORTH LINE OF SAID HOFFMAN FARM, 25.70 CHAINS TO THE CENTERLINE OF THE CHICAGO AND MILWAUKEE ROAD; THENCE NORTH 17-1/2 DEGREES WEST ALONG THE CENTERLINE OF SAID ROAD, 4.26 CHAINS, THENCE NORTH 86-1/2 DEGREES WEST 24.42 CHAINS; THENCE SOUTH 4.01 CHAINS TO THE PLACE OF BEGINNING, (EXCEPT THAT PART OF THE LAND FALLING IN THE FINAL PLAT OF SUBDIVISION SOUTH LAKE INDUSTRIAL CENTER, BEING A SUBDIVISION IN PARTS OF SECTIONS 9 AND 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2020 AS DOCUMENT NUMBER 7685841, IN LAKE COUNTY, ILLINOIS.

Parcel 3

THAT PART OF THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF MILWAUKEE AVENUE AND A LINE PARALLEL TO AND 979.02 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 10; THENCE WEST PARALLEL TO THE SAID SOUTH LINE, 936.55 FEET; THENCE NORTHERLY ALONG A LINE DEFLECTING 89 DEGREES 28 MINUTES TO THE RIGHT FROM AN EXTENSION OF THE LAST DESCRIBED LINE, 253.88 FEET; THENCE SOUTH 86 DEGREES 39 1/2 MINUTES EAST, 884.20 FEET TO SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 3274.2 FEET, A DISTANCE OF 188.60 FEET; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE TANGENT TO THE LAST DESCRIBED CURVE, 42.96 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

## **Exhibit B**

### **DEVELOPMENT PERMIT For South Lake Industrial Center Building E Pursuant to the Entitlement Package dated 08/10/2021**

#### **General Compliance with the following plans:**

1. General compliance with the civil engineering plans, consisting of seven (7) pages, prepared by Spaceco, Inc, dated April 1, 2021; and
2. General compliance with the site plan showing a softened turning radius at the access drive to Milwaukee Avenue, consisting of one (1) page prepared by Spaceco, Inc with a date stamp of June 29, 2021; and
3. General compliance with the Landscape Plan, consisting of four (4) pages, prepared by KM Talty Design, dated April 1, 2021; and
4. General compliance with the Landscape Plan showing enhanced landscaping adjacent to the Lifetime Fitness pool, consisting of one (1) page, prepared by KM Talty Design, dated June 29, 2021; and
5. General compliance with the photometric plan consisting of two (2) pages, prepared by ABCO Electrical Construction and Design, dated April 1, 2021; and
6. Compliance with the plat of subdivision, consisting of two (2) pages, prepared by Spaceco, dated February 5, 2021; and
7. General compliance with the color renderings, consisting of two (2) pages, prepared by Harris Architects, Inc, dated July 14 2021; and
8. General compliance with the architectural elevations consisting of one (1) page, prepared by Harris Architects, Inc, dated July 7, 2021.

#### **Conditions of Approval for the entire Site:**

1. Review and approval of landscaping plans by the Village Landscape Technician shall be required prior to issuance of a full building permit for the project. The Landscape Technician may require plant substitutions where, in his opinion, the substitution is appropriate for this project; and
2. Final engineering is subject to review and approval by the Village Engineer prior to issuance of building permit; and
3. Review and approval of site lighting and parking lot light fixtures by the Director of Public Works and Director of Community Development prior to issuance of building permit; and

4. The Director of Community Development shall review and approve the exterior lighting on the building prior to issuing any building or site development permit; and
5. The plat of subdivision is subject to review and approval by the Village attorney and the Village Engineer; and
6. If the accident history related to the exiting of semi-tractor trailers onto southbound Milwaukee Avenue is deemed to be significant by the Village Engineer and Chief of Police, acting collectively, and in all cases taking into consideration the total number, frequency and severity of accidents, the Village Board reserves the right to modify access conditions up to and including elimination of semi-tractor trailer traffic exiting onto south bound Milwaukee Avenue. Before the Board considers modification of access conditions contained within this Ordinance, Village staff shall provide at least thirty (30) days written notice to the property owner of the date on which the amended Ordinance is considered; and
7. Compliance with all ordinances and standards of the Village.

**Exhibit C**  
**Zoning and Sign Code Variations**  
Pursuant to the Entitlement Package dated 08/10/2021

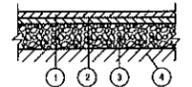
1. *Zoning Code - Section 19.7:* To allow 201 parking spaces rather than the minimum required number of 207 spaces; and
2. *Sign Code -- Section 19-3(c)7b.1:* To allow the display of six tenants rather than the maximum permitted of one tenant. Said variation is applies to two monument signs within the development.



**GENERAL NOTES**

1. REFERENCED CODES
  - A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRB), AND SUPPLEMENTAL SPECIFICATIONS AND RECORDING SPECIAL PROVISIONS, ADOPTED APRIL 1, 2016 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREBY, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY, EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.
  - B. ALL SANITARY SEWERS AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAINS IN ILLINOIS, PUBLISHED JANUARY 2006, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY AND SPECIFICATIONS AND CONSTRUCTION DETAILS AND ORDINANCES OF LAKE COUNTY PUBLIC WORKS, EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE PROTECTIVE REQUIREMENTS SHALL APPLY.
  - C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILHDSI HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MOST STRINGENT SHALL GOVERN.
  - D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
2. UTILITY LOCATIONS
  - A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
  - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL 311 OR 1-800-949-0123 AND THE MUNICIPALITY FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.
  - C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
3. UTILITY COORDINATION
  - A. CONTRACTOR / OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
  - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COMPLETES ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
  - C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. THAT SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.
4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY NOTIFY THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY SUCH DISCREPANCIES. FAILURE TO SECURE SUCH INSTRUCTIONS, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
6. CONTRACTOR SHALL VIDEO TAKE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
9. COMMENCING CONSTRUCTION
  - A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND COST OF THE CONTRACTOR. THE TESTING AGENCY SHALL USE THE APPROVAL OF THE OWNER.
  - B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (RELATING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.
11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL, SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS ORDERED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNER.
13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURBS AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
14. ALL FIELD TIE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TIE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
15. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
16. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.
17. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (65CS)5, ARTICLE 301.05.
18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
19. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.
20. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGER BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

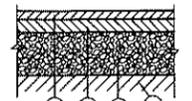
22. GENERAL EXCAVATION/UNDERGROUND NOTES
  - A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL. EXCAVATED, MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
  - B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.
  - C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, Sumps, SUCTION AND DISCHARGE LINES AND OTHER DRAINAGE SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND GROUNDWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DRAINAGE DITCHES EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
23. FINAL ACCEPTANCE
  - A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWENTY (20) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 15% OF THE CONSTRUCTION COST, OR \$45,000, WHICHEVER IS GREATER.
  - B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE CONTRACTOR OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
  - C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY AND LAKE COUNTY PUBLIC WORKS. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BRIDGE, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
  - D. AS-BUILT RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY ENGINEER IN ACCORDANCE TO THE REQUIREMENTS OF THE LAKE COUNTY PUBLIC WORKS AND MUNICIPAL CODE OF ORDINANCES.
  - E. ALL STORM SEWER SHALL BE CLEANED AND TESTED AND DIGITAL REPORT PROVIDED TO THE VILLAGE ENGINEER FOR REVIEW BEFORE ACCEPTANCE.
  - F. AS-BUILT RECORD DRAWINGS SHALL BE PROVIDED ELECTRONICALLY TO THE VILLAGE ENGINEER PRIOR TO THE PLACEMENT OF FINAL SURFACE.
  - G. AS-BUILT RECORD DRAWINGS SHALL BE PROVIDED TO THE VILLAGE ENGINEER AND LAKE COUNTY DEPARTMENT OF PUBLIC WORKS IN ACCORDANCE TO THE REQUIREMENTS OF THE VILLAGE OF VERNON HILLS SECTION P. OF THE CODE OF ORDINANCES.
24. UNDERGROUND NOTES
  - A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF THE TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS, FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
  - B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE WORK SHALL BE PAID FOR AT THE CONTRACTOR'S RISK AND EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOOT FOR SYSTEMS WHICH SHALL BE PAID FOR IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
  - C. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. IN THE EVENT OF ANY TRENCH MATERIALS WITH UNACCEPTED COMPRESSIVE STRENGTH LESS THAN A 1.5 TO BE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
  - D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL BE CA-7 CRUSHED LIMESTONE PER VILLAGE REQUIREMENTS EXHIBIT 1 AND 2. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRB) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
  - E. THE CONTRACTOR SHALL INSTALL A 4" x 4" x 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
  - F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.
  - G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.
  - H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)
  - I. SLEEVES FOR UTILITY (CABLE, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE PVC 60R 78 OR SCHEDULE 40 INSTALLED 48" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-7 CRUSHED LIMESTONE FOR VILLAGE REQUIREMENTS EXHIBIT 1 AND 2. THE CONTRACTOR SHALL MARK THE TOP OF THE CURB WITH A STAMPED "X" TO IDENTIFY THE CROSSINGS.
  - J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
25. IT SHALL BE UNDERSTOOD THAT THE MUNICIPALITY AND LAKE COUNTY PUBLIC WORKS, ITS OFFICIALS, CONSULTANTS, OR ITS EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO PROVIDE SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS - "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTORS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.
26. LAKE COUNTY PUBLIC WORKS SHALL BE GRANTED ACCESS TO ALL PARTS OF OF THE CONSTRUCTION SITE AND SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND/OR REJECT ALL WATERMAIN, WATER SERVICES, SANITARY SEWER, AND SANITARY SERVICE IMPROVEMENTS.



$S_N = 1.5' \times 0.40 = 0.60$   
 $2.5' \times 0.33 = 0.83$   
 $12' \times 0.32 = 3.84$   
**2.27**

**TYPICAL ASPHALT PAVEMENT SECTION (PASSENGER VEHICLE PARKING)**

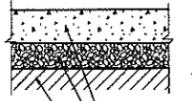
- N.T.S.
1. 1.5" BITUMINOUS CONCRETE SURFACE COURSE, HOT-MIX ASPHALT, MIX "D", NSD
  2. 2.5" BITUMINOUS CONCRETE BINDER COURSE, HOT-MIX ASPHALT, I.D.O.T. IL-18-D, NSD
  3. 12" CRUSHED AGGREGATE BASE COURSE, IODT CA-6
  4. ALL AGGREGATE SUBBASE MATERIAL SHALL BE CA-6 CRUSHED LIMESTONE.
- COMPACTED AND STABLE SUBGRADE



$S_N = 2.0' \times 0.49 = 0.98$   
 $3.0' \times 0.33 = 0.99$   
 $12' \times 0.32 = 3.84$   
**5.81**

**TYPICAL ASPHALT PAVEMENT SECTION (HEAVY DUTY - TRUCK DRIVEWAYS)**

- N.T.S.
1. 2.0" BITUMINOUS CONCRETE SURFACE COURSE, HOT-MIX ASPHALT, HOT-MIX ASPHALT, MIX "D", NSD
  2. 3.0" BITUMINOUS CONCRETE BINDER COURSE, HOT-MIX ASPHALT, I.D.O.T. IL-18-D, NSD
  3. 12" CRUSHED AGGREGATE BASE COURSE, IODT CA-6
  4. ALL AGGREGATE SUBBASE MATERIAL SHALL BE CA-6 CRUSHED LIMESTONE.
- COMPACTED AND STABLE SUBGRADE



\* REQUIRED FOR CONCRETE DRIVEWAY APPROX

6" PORTLAND CEMENT CONCRETE (5/8" x 2.5" WIRE REINFORCEMENT)

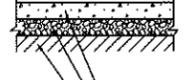
4" AGGREGATE BASE COURSE TYPE 2 CA-6 CRUSHED LIMESTONE

ALL AGGREGATE SUBBASE MATERIAL SHALL BE CA-6 CRUSHED LIMESTONE.

COMPACTED AND STABLE SUBGRADE

**TYPICAL CONCRETE PAVEMENT SECTION (LOADING DOCKS / DRIVEWAY APPROX)**

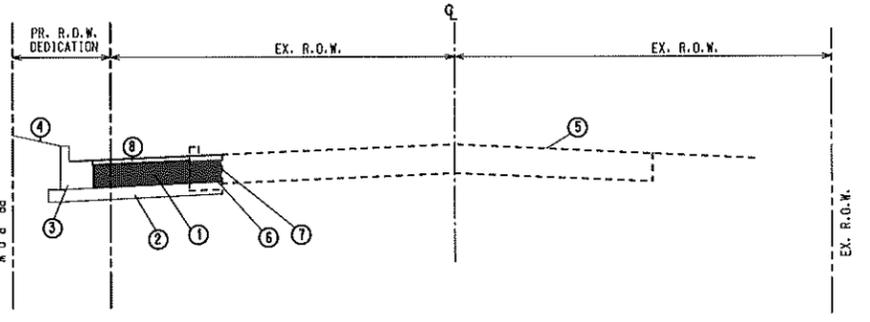
- N.T.S.
1. 6" PORTLAND CEMENT CONCRETE
  2. 4" CA-6 CRUSHED LIMESTONE AGGREGATE BASE COURSE, COMPACTED
  3. COMPACTED AND STABLE SUBGRADE
- SEE VILLAGE EXHIBITS 28 AND 30 FOR FURTHER DETAILS



**TYPICAL SIDEWALK/PEDESTRIAN PATH SECTION**

- N.T.S.
1. 6" TOPSOIL AND EROSION CONTROL BLANKET & 2A SEEDING
  2. EXISTING BITUMINOUS PAVEMENT
  3. 24" WIDE REFLECTIVE CRACK CONTROL TREATMENT

1. 10" HOT-MIX ASPHALT BINDER COURSE, IL-19, NTO
2. 6" MINIMUM CRUSHED AGGREGATE SUBBASE (TYPE A) OR AS NECESSARY TO OBTAIN A SUITABLE BASE COURSE
3. 6-6.24 CURB AND GUTTER WITH AGGREGATE BASE UNDER CURB (AND 2" BEYOND CURB)
4. 6" TOPSOIL AND EROSION CONTROL BLANKET & 2A SEEDING
5. EXISTING BITUMINOUS PAVEMENT
6. SANCUT TO REMOVE EXISTING CURB & GUTTER
7. 24" WIDE REFLECTIVE CRACK CONTROL TREATMENT
8. 2" SMA SURFACE COURSE MIX D, NTO



**PROPOSED TYPICAL SECTION - BITUMINOUS PAVEMENT WIDENING - RIGHT TURN LANE**

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
—○—○—	DRAIN TILE	—○—○—
—○—○—	STORM SEWER	—○—○—
—○—○—	SANITARY SEWER	—○—○—
—○—○—	SANITARY TRUNK SEWER	—○—○—
—○—○—	WATER MAIN (WITH SIZE)	—○—○—
—○—○—	PIPE TRENCH BACKFILL	—○—○—
—○—○—	GAS MAIN	—○—○—
—○—○—	TELEPHONE LINES	—○—○—
—○—○—	ELECTRIC LINE	—○—○—
—○—○—	FENCE	—○—○—
—○—○—	RIGHT-OF-WAY	—○—○—
—○—○—	EASEMENT	—○—○—
—○—○—	PROPERTY LINE	—○—○—
—○—○—	SETBACK LINE	—○—○—
—○—○—	CENTERLINE	—○—○—
—○—○—	CONTOUR	—○—○—
—○—○—	680	—○—○—
—○—○—	SANITARY MANHOLE	—○—○—
—○—○—	STORM MANHOLE	—○—○—
—○—○—	CATCH BASIN	—○—○—
—○—○—	INLET	—○—○—
—○—○—	FIRE HYDRANT	—○—○—
—○—○—	PRESSURE CONNECTION	—○—○—
—○—○—	PIPE REDUCER	—○—○—
—○—○—	VALVE AND VAULT, VALVE	—○—○—
—○—○—	FLARED END SECTION	—○—○—
—○—○—	STREET LIGHT	—○—○—
—○—○—	UTILITY POLE	—○—○—
—○—○—	CONTROL POINT	—○—○—
—○—○—	SIGN	—○—○—
—○—○—	SPOT ELEVATION	—○—○—
—○—○—	SOL. BORING	—○—○—
—○—○—	OVERLAND FLOW ROUTE	—○—○—
—○—○—	DRAINAGE SLOPE	—○—○—
—○—○—	GUARDRAIL	—○—○—
—○—○—	WATER'S EDGE	—○—○—
—○—○—	CONCRETE	—○—○—
—○—○—	REVERSE PITCH CURB	—○—○—
—○—○—	TREE, FR. TREE, BUSH, & PROPOSED TREE TO REMOVE	—○—○—

ABBREVIATIONS		
M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAIN
LP - LIGHT POLE	TC - TOP OF CURB	SAW - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LD - LOCK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PL - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS			
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED
LAKE COUNTY PUBLIC WORKS			
VERNON HILLS			
IDNR/IHPA			
USACE			
IEPA			

**GENERAL NOTES AND TYPICAL SECTIONS**

**SOUTH LAKE EAST**

**634 MILWAUKEE AVENUE**

**VERNON HILLS, ILLINOIS**

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**CONSULTING ENGINEERS**

**SITE DEVELOPMENT ENGINEERS**

**LAND SURVEYORS**

8975 W. Higgins Road, Suite 700  
 Rosemont, Illinois 60018  
 Phone: (847) 696-0060 Fax: (847) 696-0065

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**SPACECO INC.**

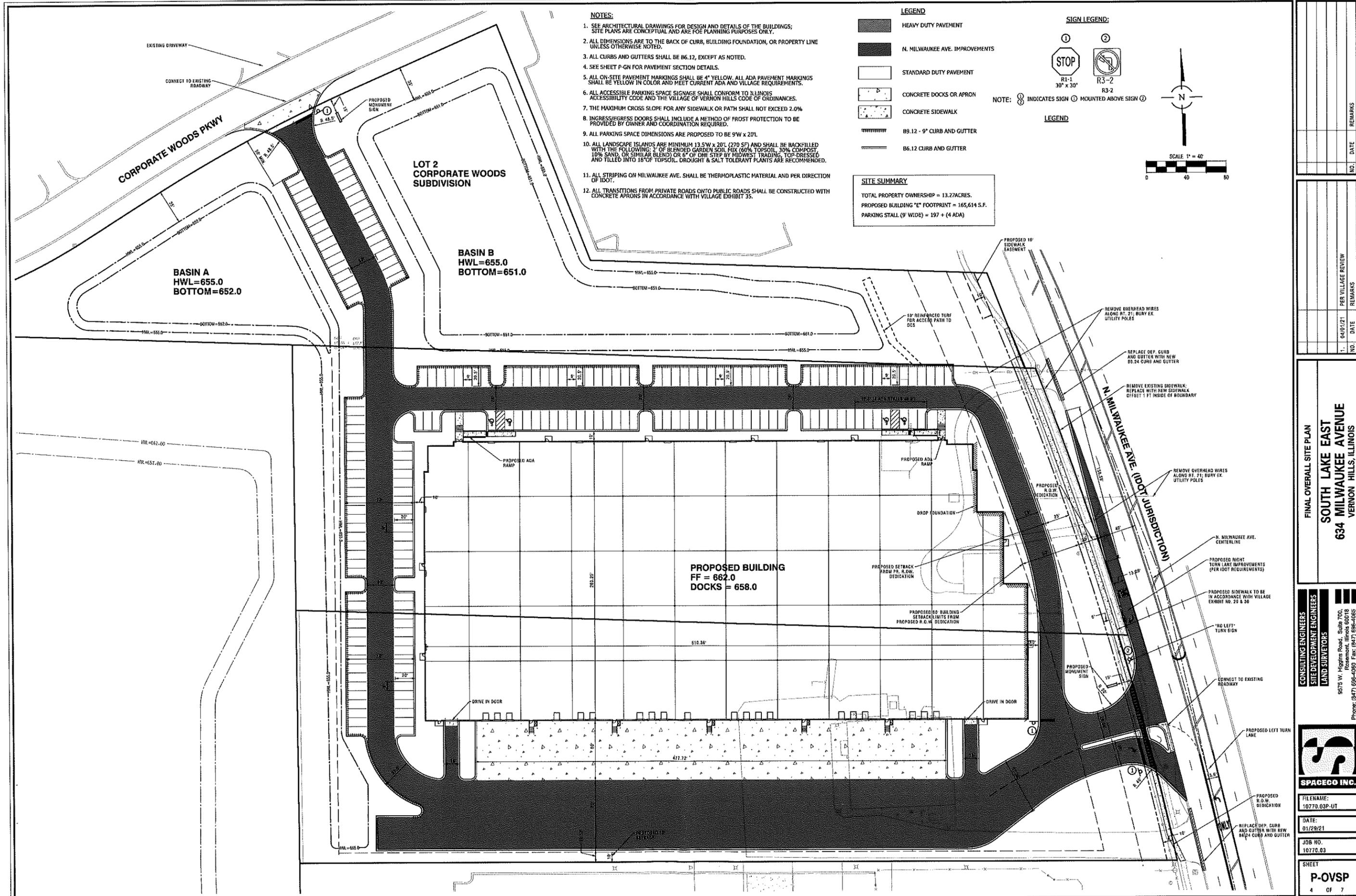
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DATE:  
01/29/21

JOB NO.  
10770.03

SHEET  
**P-GN**  
2 OF 7





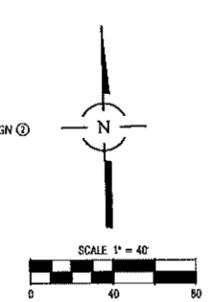
- NOTES:**
1. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS; SITE PLANS ARE CONCEPTUAL AND ARE FOR PLANNING PURPOSES ONLY.
  2. ALL DIMENSIONS ARE TO THE BACK OF CURB, BUILDING FOUNDATION, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  3. ALL CURBS AND GUTTERS SHALL BE B6.12, EXCEPT AS NOTED.
  4. SEE SHEET P-GN FOR PAVEMENT SECTION DETAILS.
  5. ALL ON-SITE PAVEMENT MARKINGS SHALL BE 4" YELLOW. ALL ADA PAVEMENT MARKINGS SHALL BE YELLOW IN COLOR AND MEET CURRENT ADA AND VILLAGE REQUIREMENTS.
  6. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE AND THE VILLAGE OF VERNON HILLS CODE OF ORDINANCES.
  7. THE MAXIMUM CROSS SLOPE FOR ANY SIDEWALK OR PATH SHALL NOT EXCEED 2.0%.
  8. INGRESS/EGRESS DOORS SHALL INCLUDE A METHOD OF FROST PROTECTION TO BE PROVIDED BY OWNER AND COORDINATION REQUIRED.
  9. ALL PARKING SPACE DIMENSIONS ARE PROPOSED TO BE 9'W x 20'L.
  10. ALL LANDSCAPE ISLANDS ARE MINIMUM 13.5'W x 20'L (270 SF) AND SHALL BE BACKFILLED WITH THE FOLLOWING: 7" OF BLENDED GARDEN SOIL, 4" (60% TOPSOIL, 30% COMPOST, 10% SAND, OR SIMILAR BLEND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP-DRESSED AND FILLED INTO 18" OF TOPSOIL. DROUGHT & SALT TOLERANT PLANTS ARE RECOMMENDED.
  11. ALL STRIPING ON MILWAUKEE AVE. SHALL BE THERMOPLASTIC MATERIAL AND PER DIRECTION OF IDOT.
  12. ALL TRANSITIONS FROM PRIVATE ROADS ONTO PUBLIC ROADS SHALL BE CONSTRUCTED WITH CONCRETE APRONS IN ACCORDANCE WITH VILLAGE EXHIBIT 35.

- LEGEND**
- HEAVY DUTY PAVEMENT
  - N. MILWAUKEE AVE. IMPROVEMENTS
  - STANDARD DUTY PAVEMENT
  - CONCRETE DOCKS OR APRON
  - CONCRETE SIDEWALK
  - B9.12 - 9" CURB AND GUTTER
  - B6.12 CURB AND GUTTER

- SIGN LEGEND:**
- ① STOP R1-1 30" x 30"
  - ② NO LEFT TURN R3-2
- NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②

**SITE SUMMARY**

TOTAL PROPERTY OWNERSHIP = 13.27ACRES.  
 PROPOSED BUILDING "E" FOOTPRINT = 165,614 S.F.  
 PARKING STALL (9' WIDE) = 197 + (4 ADA)



NO.	DATE	REVISIONS
1.	04/01/21	PER VILLAGE REVIEW

**FINAL OVERALL SITE PLAN**  
**SOUTH LAKE EAST**  
**634 MILWAUKEE AVENUE**  
 VERNON HILLS, ILLINOIS

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
 Rosemont, Illinois 60018  
 Phone: (847) 698-4050 Fax: (847) 698-4055

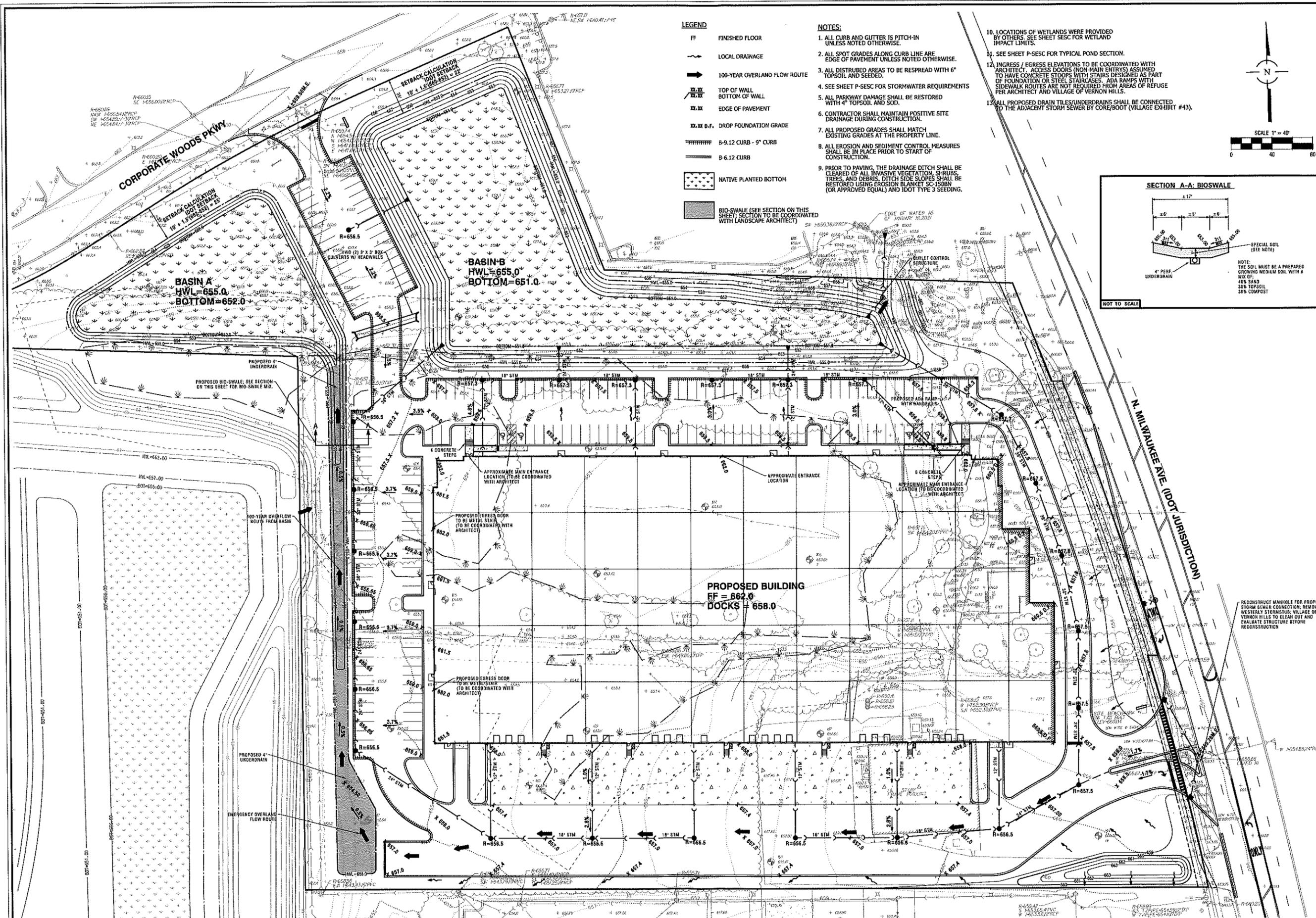
**SPACECO INC.**

FILENAME:  
10770\_03P-UT

DATE:  
01/29/21

JOB NO.  
10770.03

SHEET  
**P-OVSP**  
4 OF 7



**LEGEND**

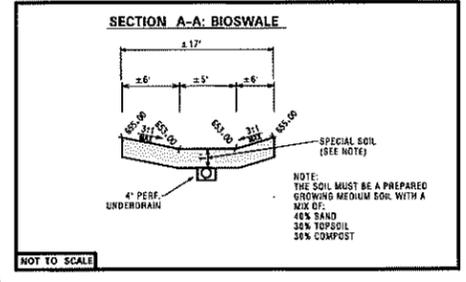
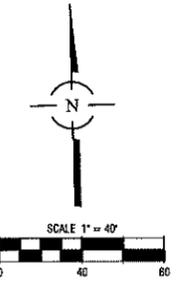
- FF FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- TOP OF WALL
- BOTTOM OF WALL
- EDGE OF PAVEMENT
- DROP FOUNDATION GRADE
- B-9.12 CURB - 9" CURB
- B-6.12 CURB
- NATIVE PLANTED BOTTOM
- BIO-SWALE (SEE SECTION ON THIS SHEET; SECTION TO BE COORDINATED WITH LANDSCAPE ARCHITECT)

**NOTES:**

1. ALL CURB AND GUTTER IS PITCH-IN UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
3. ALL DISTURBED AREAS TO BE RESPAVED WITH 6" TOPSOIL AND SEEDED.
4. SEE SHEET P-SESC FOR STORMWATER REQUIREMENTS.
5. ALL PARKWAY DAMAGE SHALL BE RESTORED WITH 4" TOPSOIL AND SOD.
6. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
7. ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
9. PRIOR TO PAVING, THE DRAINAGE DITCH SHALL BE CLEARED OF ALL INVASIVE VEGETATION, SHRUBS, TREES, AND DEBRIS. DITCH SIDE SLOPES SHALL BE RESTORED USING EROSION BLANKET SC-150BN (OR APPROVED EQUAL) AND IDOT TYPE 3 SEEDING.

**NOTES:**

10. LOCATIONS OF WETLANDS WERE PROVIDED BY OTHERS. SEE SHEET SESC FOR WETLAND IMPACT LIMITS.
11. SEE SHEET P-SESC FOR TYPICAL POND SECTION.
12. INGRESS / EGRESS ELEVATIONS TO BE COORDINATED WITH ARCHITECT. ACCESS DOORS (NON-MAIN ENTRIES) ASSUMED TO HAVE CONCRETE STOOPS WITH STAIRS DESIGNED AS PART OF FOUNDATION OR STEEL STAIRCASES. ADA RAMP WITH SIDEWALK ROUTES ARE NOT REQUIRED FROM AREAS OF REFUGE PER ARCHITECT AND VILLAGE OF VERNON HILLS.
13. ALL PROPOSED DRAIN TILES/UNDERDRAINS SHALL BE CONNECTED TO THE ADJACENT STORM SEWER BY CORE/BOOT (VILLAGE EXHIBIT #43).



<p><b>PRELIMINARY GRADING AND STORMWATER PLAN</b></p> <p><b>SOUTH LAKE EAST</b></p> <p><b>634 MILWAUKEE AVENUE</b></p> <p>VERNON HILLS, ILLINOIS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <p><b>CONSULTING ENGINEERS</b></p> <p><b>SITE DEVELOPMENT ENGINEERS</b></p> <p><b>LAND SURVEYORS</b></p> </td> <td style="width: 50%; text-align: center;"> <p><b>SPACECO INC.</b></p> </td> </tr> <tr> <td colspan="2"> <p>9575 W. Higgins Road, Suite 700, Vernon Hills, IL 60069 Phone: (847) 696-4060 Fax: (847) 696-4065</p> </td> </tr> <tr> <td colspan="2"> <p>FILENAME: 10770.03P-GRSTM</p> </td> </tr> <tr> <td colspan="2"> <p>DATE: 01/29/21</p> </td> </tr> <tr> <td colspan="2"> <p>JOB NO. 10770.03</p> </td> </tr> <tr> <td colspan="2"> <p>SHEET <b>PR-GRSTM</b></p> </td> </tr> <tr> <td colspan="2" style="text-align: center;"> <p>5 OF 7</p> </td> </tr> </table>	<p><b>CONSULTING ENGINEERS</b></p> <p><b>SITE DEVELOPMENT ENGINEERS</b></p> <p><b>LAND SURVEYORS</b></p>	<p><b>SPACECO INC.</b></p>	<p>9575 W. Higgins Road, Suite 700, Vernon Hills, IL 60069 Phone: (847) 696-4060 Fax: (847) 696-4065</p>		<p>FILENAME: 10770.03P-GRSTM</p>		<p>DATE: 01/29/21</p>		<p>JOB NO. 10770.03</p>		<p>SHEET <b>PR-GRSTM</b></p>		<p>5 OF 7</p>	
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<p>SHEET <b>PR-GRSTM</b></p>															
<p>5 OF 7</p>															



**EROSION CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY AND TRANSPORTED TO A CONTROLLED SEDIMENT AREA.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
11. ROADWAYS MUST BE KEPT FREE OF MUD, DEBRIS, ETC. AT ALL TIMES IN THE VILLAGE OF VERNON HILLS. CONTRACTOR IS RESPONSIBLE TO IMMEDIATELY CLEAN ANY MATERIAL TRACKED ONTO THE PUBLIC ROADWAY AT HIS OWN EXPENSE.
12. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
13. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.

**STORMWATER SUMMARY**

**DEPRESSIONAL STORAGE SUMMARY**

TOTAL TRIBUTARY AREA =	28.80 AC.
DEPRESSIONAL STORAGE REQ'D =	2.62 AC-FT.
EXCESS STORAGE FROM SLD =	2.48 AC-FT.
STORAGE REQ'D BLDG "E" =	0.14 AC-FT.
TOTAL PROVIDED =	2.62 AC-FT.

**DETENTION SUMMARY**

TOTAL SITE AREA =	13.06 AC.
NORTH LOT 2 PROPERTY =	3.83 AC. (DETENTION PROVIDED < 91 CM)
DETENTION REQ'D AREA =	9.23 AC. (EXCLUDES CORP. WOODS LOT 2)
DETENTION REQ'D =	5.13 AC-FT. * (PER UPDATED BULLETIN 75)
DETENTION PROVIDED (BASIN A) =	1.82 AC-FT. (5.0' BOUNCE MAX)
DETENTION PROVIDED (BASIN B) =	4.92 AC-FT. (5.0' BOUNCE MAX.)
TOTAL PROVIDED =	6.74 AC-FT.
DEPRESSIONAL STORAGE =	-0.14 AC-FT.
TOTAL PROVIDED IN BASINS =	6.60 AC-FT.

**DISCHARGE SUMMARY**

100-YEAR PEAK RELEASE RATE REQ'D =	1.38 CFS.
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\* BASINS SIZED FOR 2-YEAR AND 100-YEAR RELEASE, EXCLUDES LOT 2 AREA

**EMERGENCY OVERFLOW SUMMARY**

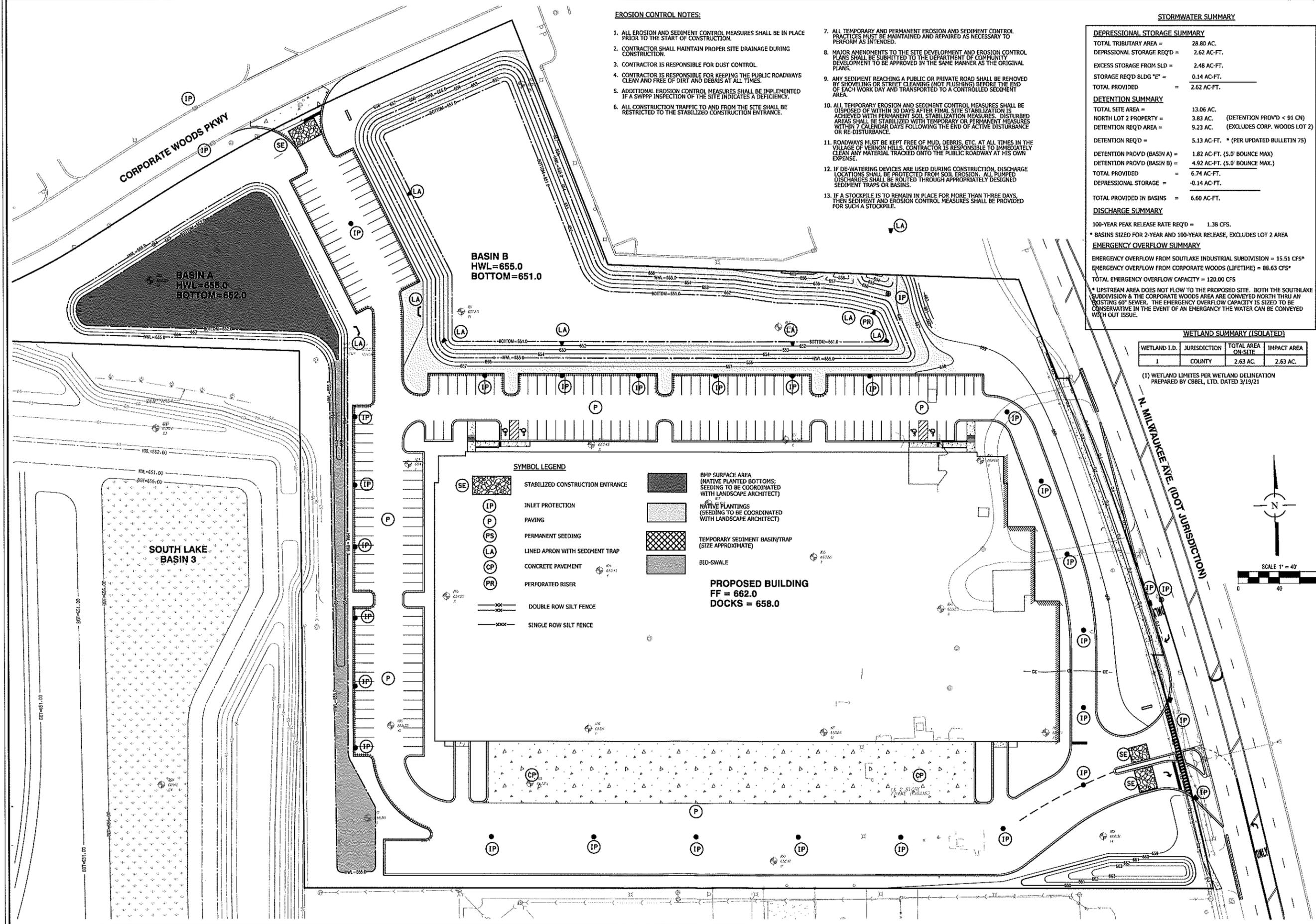
EMERGENCY OVERFLOW FROM SOUTLAKE INDUSTRIAL SUBDIVISION = 15.51 CFS\*  
 EMERGENCY OVERFLOW FROM CORPORATE WOODS (LIFETIME) = 88.63 CFS\*  
 TOTAL EMERGENCY OVERFLOW CAPACITY = 120.00 CFS

\* UPSTREAM AREA DOES NOT FLOW TO THE PROPOSED SITE. BOTH THE SOUTLAKE SUBDIVISION & THE CORPORATE WOODS AREA ARE CONVEYED NORTH THRU AN EXISTING 60" SEWER. THE EMERGENCY OVERFLOW CAPACITY IS SIZED TO BE CONSERVATIVE IN THE EVENT OF AN EMERGENCY THE WATER CAN BE CONVEYED WITH OUT ISSUE.

**WETLAND SUMMARY (ISOLATED)**

WETLAND I.D.	JURISDICTION	TOTAL AREA ON-SITE	IMPACT AREA
1	COUNTY	2.63 AC.	2.63 AC.

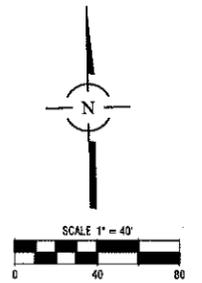
(1) WETLAND LIMITS PER WETLAND DELINEATION PREPARED BY CBEL, LTD. DATED 3/19/21



**SYMBOL LEGEND**

- |               |                                  |          |   |
|---------------|----------------------------------|----------|---|
| (SE) [Symbol] | STABILIZED CONSTRUCTION ENTRANCE | [Symbol] | BMP SURFACE AREA (NATIVE PLANTED BOTTOMS; SEEDING TO BE COORDINATED WITH LANDSCAPE ARCHITECT) |
| (IP) [Symbol] | INLET PROTECTION                 | [Symbol] | NATIVE PLANTINGS (SEEDING TO BE COORDINATED WITH LANDSCAPE ARCHITECT)                         |
| (P) [Symbol]  | PAVING                           | [Symbol] | TEMPORARY SEDIMENT BASIN/TRAP (SIZE APPROXIMATE)  |
| (PS) [Symbol] | PERMANENT SEEDING                | [Symbol] | BIO-SWALE   |
| (LA) [Symbol] | LINED APRON WITH SEDIMENT TRAP   | [Symbol] |   |
| (CP) [Symbol] | CONCRETE PAVEMENT                |          |   |
| (PR) [Symbol] | PERFORATED RISER                 |          |   |
| [Symbol]      | DOUBLE ROW SILT FENCE            |          |   |
| [Symbol]      | SINGLE ROW SILT FENCE            |          |   |

**PROPOSED BUILDING**  
 FF = 662.0  
 DOCKS = 658.0



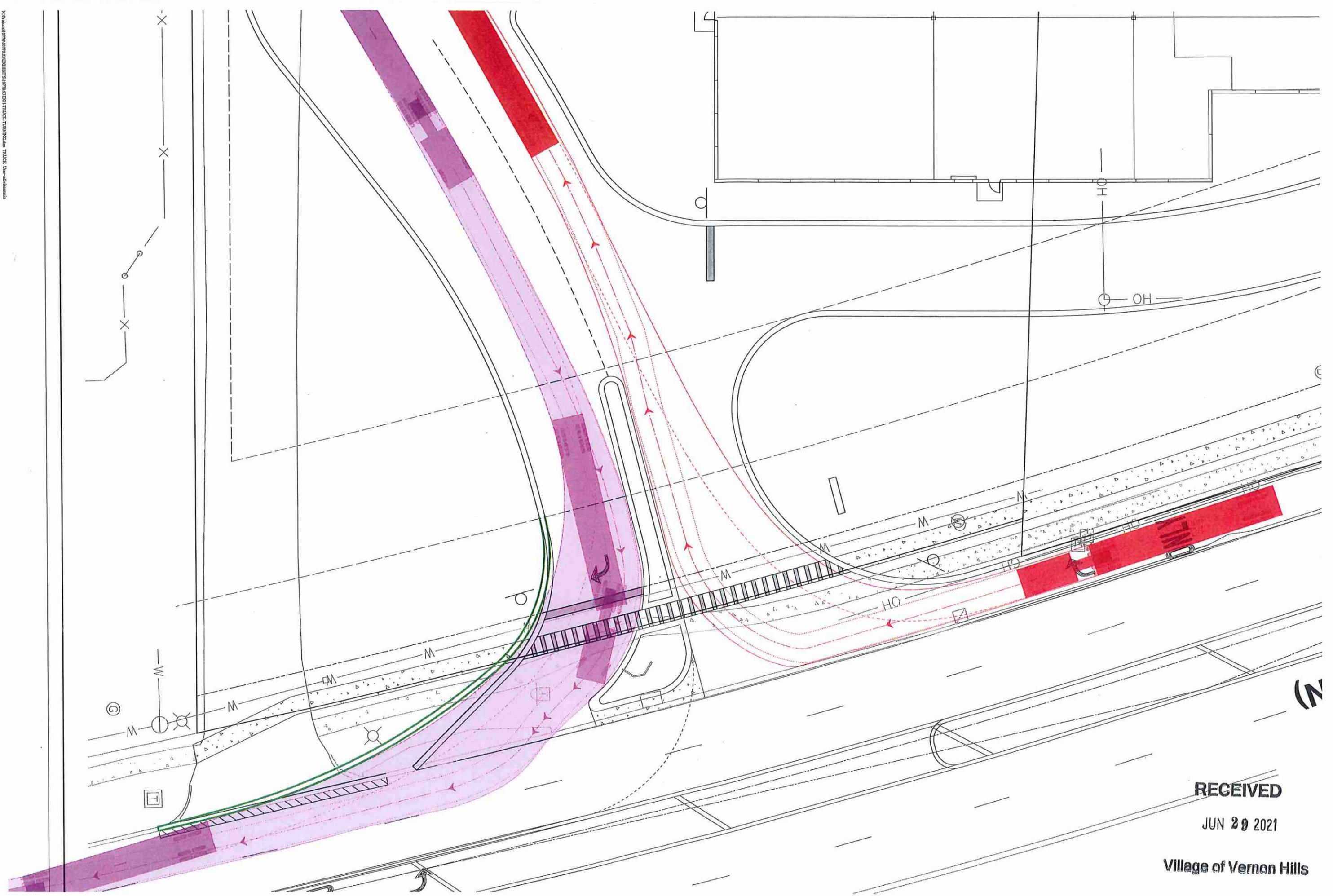
PRELIMINARY SOIL EROSION AND SEDIMENT CONTROL PLAN  
**SOUTH LAKE EAST**  
**634 MILWAUKEE AVENUE**  
 VERNON HILLS, ILLINOIS

CONSULTING ENGINEERS  
**SITE DEVELOPMENT ENGINEERS**  
 LAND SURVEYORS  
 9575 W. Higgins Road, Suite 700  
 Rosemont, Illinois 60018  
 Phone: (847) 696-0960 Fax: (847) 696-0065



FILENAME:  
 18770.03P-SESC  
 DATE:  
 01/29/21  
 JOB NO.  
 18770.03  
 SHEET  
**P-SESC**  
 7 OF 7

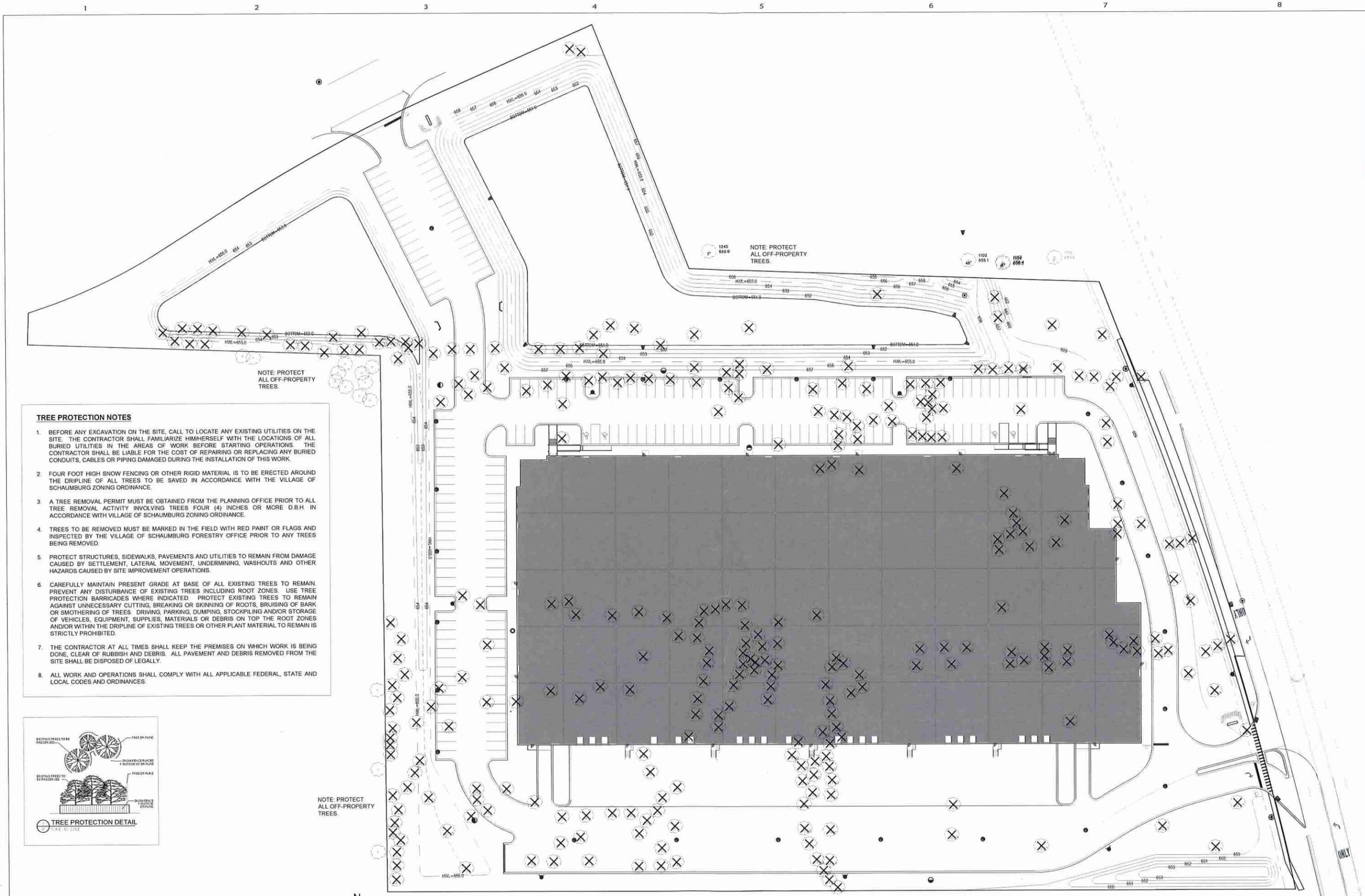
Not for construction. This is a preliminary plan. It is subject to change without notice. It is not to be used for any other purpose.



RECEIVED

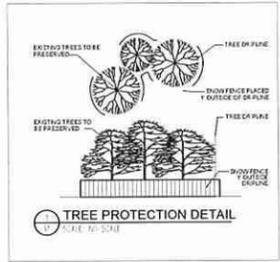
JUN 29 2021

Village of Vernon Hills



**TREE PROTECTION NOTES**

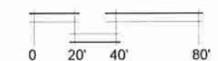
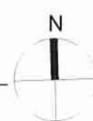
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIPLINE OF ALL TREES TO BE SAVED IN ACCORDANCE WITH THE VILLAGE OF SCHAUMBURG ZONING ORDINANCE.
- A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES FOUR (4) INCHES OR MORE D.B.H. IN ACCORDANCE WITH VILLAGE OF SCHAUMBURG ZONING ORDINANCE.
- TREES TO BE REMOVED MUST BE MARKED IN THE FIELD WITH RED PAINT OR FLAGS AND INSPECTED BY THE VILLAGE OF SCHAUMBURG FORESTRY OFFICE PRIOR TO ANY TREES BEING REMOVED.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.



NOTE: PROTECT ALL OFF-PROPERTY TREES.

**OVERALL TREE PRESERVATION PLAN**

SCALE: 1" = 40'-0"



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landscape architecture  
Winnetka, Illinois 60093  
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no.	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	04-01-21

**PROPOSED FACILITY**  
634 MILWAUKEE AVENUE  
VERNON HILLS, ILLINOIS

**TREE PRESERVATION PLAN**

date: 01-27-21  
drawn: KMT  
checked: KMT

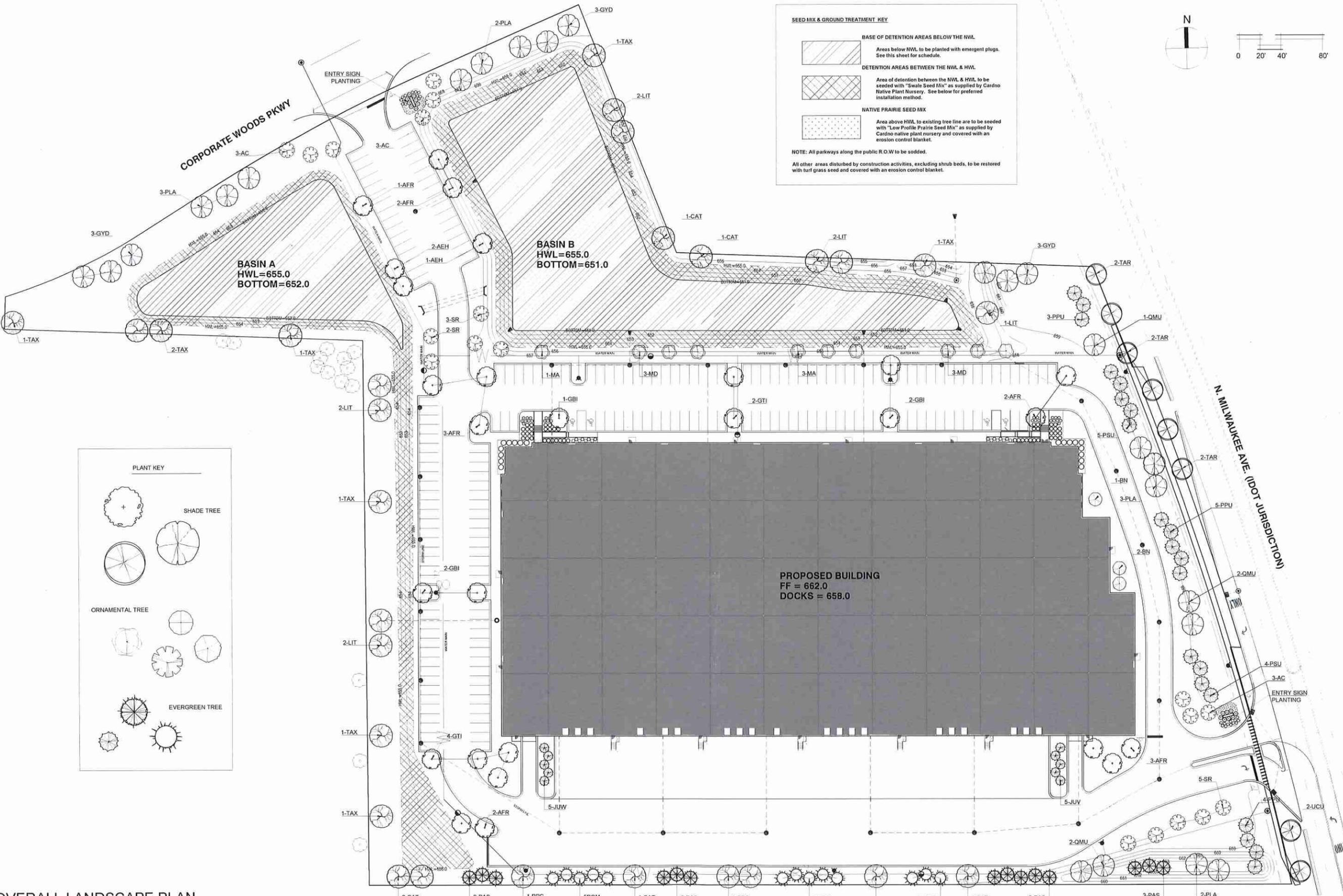
job no. 21060

sheet no. L 0.1

South Lake Industrial Center, Vernon Hills					
Tag #	Species	DBH	Condition	Preservation Notes	DBH of removals
NORTH PARCEL					
1	box elder	Multi-13, 13	poor - rot	Remove	0
2	silver maple	22	fair - form	Remove	22
3	box elder	20	poor - rot	Remove	
4	box elder	20	poor - rot	Remove	
5	box elder	8	poor - rot	Remove	
6	box elder	30	poor - rot	Remove	
7	box elder	Multi-7, 11	poor - rot	Remove	
8	black walnut	7	poor - rot	Remove	
9	crab apple	Multi-10, 6, 6, 7, 8, 7	fair - structure	Remove	20
10	weeping willow	19	poor - rot	Remove	
11	crab apple	Multi-7, 8	poor - rot	Remove	
12	Norway maple	8	fair - root problem	Remove	8
13	Austrian pine	17	good	Remove	17
14	box elder	Multi-12, 11	poor - form	Remove	
15	box elder	15	poor - decay	Remove	
16	box elder	12	poor - decay	Remove	
17	apple	6	fair - form	Remove	6
18	apple	8	fair - form	Remove	8
19	box elder	40	poor - decay	Remove	
20	Austrian pine	18	fair - needle fungus	Remove	18
21	Austrian pine	15	fair - needle fungus	Remove	15
22	cottonwood	7	fair - form	Remove	7
23	American elm	9	fair - form	Remove	9
24	box elder	10	poor - decay	Remove	
25	box elder	9	poor - decay	Remove	
26	box elder	7	poor - decay	Remove	
27	box elder	6	poor - decay	Remove	
28	box elder	Multi-9, 6	poor - decay	Remove	
29	(2) box elder	(2) 8, 9	poor - decay	Remove	
30	Bradford pear	6	good	Remove	6
31	box elder	Multi-9, 6	poor - decay	Remove	
32	Siberian elm	7	poor - form	Remove	
33	box elder	6	poor - form	Remove	
34	box elder	9	poor - form	Remove	
35	box elder	Multi-7, 7	poor - form	Remove	
36	box elder	Multi-7, 7	poor - form	Remove	
37	box elder	6	poor - form	Remove	
	Group of many dead elm - did not map				
38	box elder	6	poor - form	Remove	
39	Siberian elm	Multi-10, 9	poor - form	Remove	
40	box elder	6	poor - form	Remove	
41	Siberian elm	8	fair - form	Remove	8
42	(2) Siberian elm	(2) 6, 6	poor - form	Remove	
43	box elder	17	poor - rot	Remove	
44	American elm	27	fair - decay	Remove	27
45	apple	7	fair - form	Remove	7
46	Siberian elm	7	fair - form	Remove	7
47	Siberian elm	10	poor - broken	Remove	
48	Siberian elm	8	fair - form	Remove	8
49	box elder	8	fair - form	Remove	8
50	Siberian elm	8	poor - form	Remove	
51	Siberian elm	7	poor - form	Remove	
52	Siberian elm	6	poor - form	Remove	
53	Siberian elm	7	poor - form	Remove	
CENTER PARCEL					
294	mulberry	10	poor	Remove	
295	box elder	18	poor	Remove	
296	box elder	12	poor	Remove	
297	box elder	7	poor	Remove	
301	box elder	6	poor	Remove	
302	box elder	7	poor	Remove	
303	box elder	6	poor	Remove	
304	box elder	6	poor	Remove	
305	box elder	9	poor	Remove	
306	box elder	8	poor	Remove	
307	2 box elder	7 & 6	poor	Remove	
308	cottonwood	13	fair	Remove	13
309	cottonwood	19	poor	Remove	
310	huckthorn	7	poor	Remove	
311	box elder	Multi-stem 7, 17	poor	Remove	
312	box elder	9	poor	Remove	
313	box elder	10	poor	Remove	
314	cottonwood	13	fair	Remove	13
315	cottonwood	15	fair	Remove	15
316	huckthorn	6	poor	Remove	
317	box elder	8	poor	Remove	
318	2 box elder	14 & 7	poor	Remove	
319	box elder	14	poor	Remove	
320	box elder	Multi-stem 14, 11, 10	poor	Remove	
321	box elder	Multi-stem 10, 10, 7	poor	Remove	
322	buckthorn	15	dead	Remove	
323	white pine	13	good	Remove	13
324	silver maple	29	good	Remove	29
325	American elm	7	dead	Remove	
326	blue spruce	16	poor	Remove	
327	box elder	13	poor	Remove	
328	Norway spruce	21	fair	Remove	21
329	American linden	32	poor	Remove	
330	sugar maple	16	fair	Remove	16
331	American linden	31	poor	Remove	
332	box elder	23	poor	Remove	
333	box elder	Multi-stem 21, 15	poor	Remove	
334	silver maple	32	fair	Remove	32
335	silver maple	19	good	Remove	
336	Bradford pear	Multi-stem 14, 9	poor	Remove	
337	box elder	Multi-stem 11, 15	poor	Remove	
338	box elder	14	poor	Remove	
339	box elder	16	poor	Remove	
341	cottonwood	19	poor	Remove	
342	box elder	19	poor	Remove	
343	cottonwood	18	poor	Remove	
352	box elder	Multi-stem 11, 11, 11	poor	Remove	
353	box elder	Multi-stem 10, 11	poor	Remove	
354	mulberry	11	poor	Remove	
355	allandus	6	poor	Remove	
356	box elder	11	poor	Remove	
357	mulberry	20	poor	Remove	

South Lake Industrial Center, Vernon Hills					
Tag #	Species	DBH	Condition	Preservation Notes	DBH of removals
358	box elder	9	poor	Remove	
359	box elder	9	poor	Remove	
360	box elder	8	poor	Remove	
361	box elder	9	poor	Remove	
362	box elder	8	poor	Remove	
363	box elder	25	poor	Remove	
364	box elder	15	poor	Remove	
365	box elder	8	poor	Remove	
366	box elder	Multi-stem 12, 8	poor	Remove	
367	2 box elder	7 & 8	poor	Remove	
368	silver maple	22	poor	Remove	
369	box elder	7	poor	Remove	
370	box elder	Multi-stem 7, 9	poor	Remove	
371	box elder	13	poor	Remove	
372	box elder	10	poor	Remove	
373	box elder	9	poor	Remove	
374	box elder	7	poor	Remove	
375	box elder	10	poor	Remove	
376	box elder	9	poor	Remove	
377	black willow	Multi-stem 11, 11, 10	poor	Remove	
378	box elder	11	poor	Remove	
379	box elder	9	poor	Remove	
380	box elder	Multi-stem 9, 6	poor	Remove	
381	box elder	6	poor	Remove	
382	box elder	6	poor	Remove	
383	box elder	Multi-stem 10, 8	poor	Remove	
384	box elder	9	poor	Remove	
385	box elder	18	poor	Remove	
386	buckthorn	7	poor	Remove	
387	box elder	7	poor	Remove	
	Area with 5 dead buckthorn - did not mark				
388	box elder	Multi-stem 12, 12, 10	poor	Remove	
389	buckthorn	9	poor	Remove	
390	box elder	12	poor	Remove	
391	box elder	19	poor	Remove	
392	box elder	10	poor	Remove	
393	box elder	Multi-stem 11, 11	poor	Remove	
394	box elder	18	dead	Remove	
395	box elder	16	poor	Remove	
396	cottonwood	32	fair	Remove	32
397	box elder	Multi-stem 10, 9, 9, 11	poor	Remove	
398	cottonwood	40	fair	Remove	40
399	box elder	9	poor	Remove	
400	box elder	13	poor	Remove	
401	box elder	6	poor	Remove	
402	box elder	10	poor	Remove	
403	box elder	11	poor	Remove	
	2 mostly dead buckthorn - did not mark				
404	box elder	8	poor	Remove	
405	box elder	8	poor	Remove	
406	American elm	12	poor	Remove	
407	box elder	8	poor	Remove	
408	box elder	6	poor	Remove	
409	box elder	10	poor	Remove	
410	box elder	12	poor	Remove	
411	box elder	10	poor	Remove	
412	box elder	9	poor	Remove	
	Group of 3 American elm - dead - did not mark				
413	box elder	9	poor	Remove	
414	American elm	8	poor	Remove	
415	American elm	10	poor	Remove	
416	3 box elder	9 & 9 & 10	poor	Remove	
417	box elder	Multi-stem 6, 9, 9	poor	Remove	
418	box elder	12	poor	Remove	
419	2 box elder	9 & 6	poor	Remove	
420	American elm	Multi-stem 8, 9	poor	Remove	
421	box elder	8	poor	Remove	
422	cottonwood	40	fair	Remove	40
423	box elder	8	poor	Remove	
424	box elder	Multi-stem 8, 9	poor	Remove	
	Group of 5 American elm - dead - did not mark				
425	2 box elder	8 & 8	poor	Remove	
426	box elder	11	poor	Remove	
427	box elder	10	poor	Remove	
SOUTH PARCEL					
200	cottonwood	14	fair - deadwood	Remove	14
201	mulberry	7	poor - deadwood	Remove	
205	box elder	10	poor - form	Remove	
206	mulberry	Multi-7, 6, 5	poor - form	Remove	
208	box elder	6	poor - form	Remove	
207	box elder	13	poor - form	Remove	
209	box elder	10	poor - form	Remove	
210	box elder	13	poor - form	Remove	
214	box elder	6	poor - form	Remove	
213	box elder	6	poor - form	Remove	
212	box elder	7	poor - form	Remove	
211	box elder	8	poor - form	Remove	
216	box elder	12	poor - form	Remove	
217	box elder	7	poor - form	Remove	
218	box elder	7	poor - form	Remove	
219	box elder	7	poor - form	Remove	
221	box elder	7	poor - form	Remove	
222	box elder	8	poor - form	Remove	
223	box elder	8	poor - form	Remove	
224	box elder	10	poor - form	Remove	
226	box elder	11	poor - form	Remove	
225	box elder	6	poor - form	Remove	
227	box elder	8	fair - form	Remove	8
987	black cherry	9	fair - form	Remove	9
4285	cottonwood	12	fair - form	Remove	12
989	buckthorn	11	poor - decay	Remove	
4282	American red cedar	7	fair - form	Remove	7
995	box elder	Multi-9, 7	poor - form	Remove	
993	box elder	6	poor - form	Remove	
991	buckthorn	Multi-7, 6, 6, 5	poor - decay	Remove	
982	silver maple	7	fair - form	Remove	7
981	box elder	Multi-6, 6	dead	Remove	
972	American red cedar	6	poor - deadwood	Remove	
977	American elm	13	fair - form	Remove	13
498	buckthorn	Multi-6, 6, 5	poor - form	Remove	
996	black cherry	10	poor - decay	Remove	
966	American elm	6	fair - form	Remove	6
968	buckthorn	Multi-5, 5, 4, 6	poor - decay	Remove	
971	American red cedar	6	poor - deadwood	Remove	
967	American elm	13	fair - form	Remove	13

South Lake Industrial Center, Vernon Hills					
Tag #	Species	DBH	Condition	Preservation Notes	DBH of removals
961	American red cedar	8	poor - deadwood	Remove	
960	buckthorn	Multi-6, 6, 5	poor - form	Remove	
9					



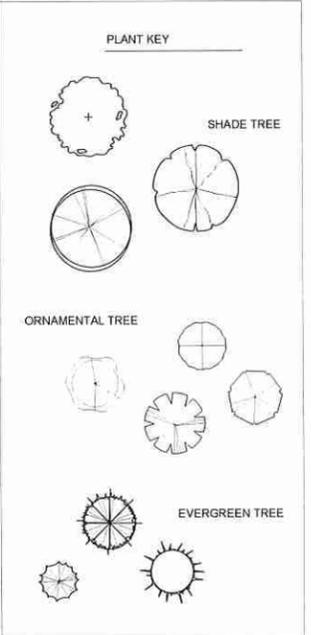
**SEED MIX & GROUND TREATMENT KEY**

**BASE OF DETENTION AREAS BELOW THE NWL**  
 Areas below NWL to be planted with emergent plugs. See this sheet for schedule.

**DETENTION AREAS BETWEEN THE NWL & HWL**  
 Area of detention between the NWL & HWL to be seeded with "Swale Seed Mix" as supplied by Cardno Native Plant Nursery. See below for preferred installation method.

**NATIVE PRAIRIE SEED MIX**  
 Area above HWL to existing tree line are to be seeded with "Low Profile Prairie Seed Mix" as supplied by Cardno native plant nursery and covered with an erosion control blanket.

**NOTE:** All parkways along the public R.O.W. to be sodded.  
 All other areas disturbed by construction activities, excluding shrub beds, to be restored with turf grass seed and covered with an erosion control blanket.



**OVERALL LANDSCAPE PLAN**

SCALE: 1" = 40'-0"

**Kathryn Talty**  
 landscape architecture  
 Winnetka, Illinois 60093  
 847.612.1514  
 www.kmtaltdesign.com



no	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	01-27-21
2	ISSUED FOR REVIEW	KMT	04-01-21

**PROPOSED FACILITY**  
 634 MILWAUKEE AVENUE  
 VERNON HILLS, ILLINOIS

**LANDSCAPE PLAN**

date	01-27-21	drawn	KMT	checked	KMT
job no.	21060				

sheet no. **21060**

**L 1.1**

Master Plant List					
Symbol	Quantity	Botanical Name	Common Name	Size	Notes
<b>Shade Trees</b>					
AEH		AESCULUS HIPPOCASTANUM	COMMON HORSECHESTNUT	3" BB	
AFR		ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB	
CAT		CATALPA SPECIOSA	NORTHERN CATALPA	3" BB	
GBI		GINKGO BILOBA	GINKGO	3" BB	MALE SPEC. ONLY
GTI		GLEDITSIA TRIACANTHOS F. INERMIS	THORNLESS HONEYLOCUST	3" BB	
GYD		GYMNOCALDIUS DIODICUS	KENTUCKY COFFEETREE	3" BB	
LIT		LIRIODENDRON TULIPIFERA	TULIP TREE	3" BB	
PLA		PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANETREE	3" BB	
QMJ		QUERCUS MUEHLBERGERII	CHINKAPIN OAK	3" BB	
RPC		ROBINIA PSEUDOACACIA 'CHICAGO BLUES'	CHICAGO BLUES BLACK LOCUST	3" BB	
TAX		TAXODIUM DISTICHUM	BALD CYPRESS	3" BB	
TAR		TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	
UCU		ULMUS CULTIVAR 'ACCOLADE' 'TRIUMPH'	ACCOLADE ELM	3" BB	
<b>Evergreen Trees</b>					
PAS		PICEA AIBES	NORWAY SPRUCE	8" BB	
POM		PICEA OMORICA	SERBIAN SPRUCE	8" BB	
PPU		PICEA PLUNGENS	COLORADO SPRUCE	8" BB	
PSU		PSEUDOTSUGA MENZESII	DOUGLAS FIR	8" BB	
<b>Ornamental Trees</b>					
AC		AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6" BB	
BN		BETULA NIGRA	RIVER BIRCH	6" BB	
MA		MALLUS 'ADAMS'	CRABAPPLE	6" BB	20', RED, PINK
MD		MALLUS 'DONALD WYMAN'	CRABAPPLE	6" BB	25', GREEN, LT PINK
SR		SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	8" BB	
<b>Evergreen Shrubs</b>					
JCM		JUNIPERUS CHINENSIS 'MINT JULLIP'	MINT JULLIP SPREADING JUMPER	24" BB	
TD		TAXUS X MEDIA 'DENSIT'	DENSE YEW	24" BB	
<b>Deciduous Shrubs</b>					
EA		EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	36" BB	
HA		HYDRANGEA ARBORESCENS	ANNABELLE HYDRANGEA	5 GAL	
HP		HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB	
PF		POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA	5 GAL	
RA		RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	
SM		SYRINGA MEYER 'PALIBIN'	DWARF KOREAN LILAC	24" BB	
VC		VIBURNUM CARLESII 'COMPACTUM'	DWARF KOREANSPICE VIBURNUM	36" BB	
VD		VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48" BB	
VJ		VIBURNUM X JUDDI	JUDD VIBURNUM	36" BB	
<b>Perennials</b>					
ep		ECHINACEA PURPUREA 'MAGNUS'	CONEFLOWER	1 GAL	36" PURPLE
hs		HEMEROCALLIS 'STELLA D'ORO'	SELLA D'ORO DAYLILY	1 GAL	18" YELLOW
nl		NEPETA X FAASSENII	FAASSENS CATMINT	1 GAL	12" LAVENDER
<b>Grasses</b>					
pv		PANCIUM VIRGATUM 'NORTH WIND'	SWITCH GRASS	3 GAL	4'

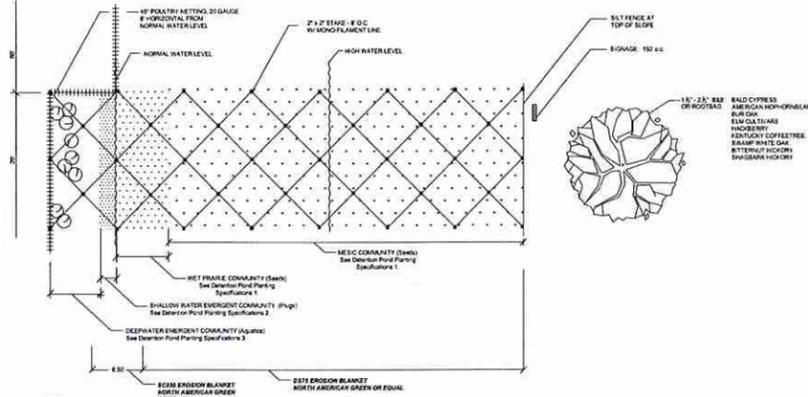
EMERGENT PLUGS					
Symbol	Quantity	Botanical Name	Common Name	Size	Notes
as	0	ACORUS AMERICANUS	SWEET FLAG	3" PLUG 12" O.C.	
cs	0	CAREX STRICTA	COMMON TUSsock SEDGE	3" PLUG 12" O.C.	
iv	0	IRIS VIRGINICA	BLUE FLAG RIS	3" PLUG 12" O.C.	
lc	0	LOBELIA CARDINALIS	CARDINAL FLOWER	3" PLUG 12" O.C.	
sl	0	SAGITTARIA LATIFOLIA	COMMON ARROWHEAD	3" PLUG 12" O.C.	
ss	0	SCHOENOPLECTUS ACUTUS	HARD-STEMMED BULRUSH	3" PLUG 18" O.C.	
se	0	SPARGANIUM EURYCARPUM	COMMON BUR REED	3" PLUG 12" O.C.	

**PLANTING NOTES FOR DETENTION AREAS**

- REFER TO CIVIL ENGINEERING DRAWINGS FOR CONSTRUCTION DETAILS OF DETENTION AREAS
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE WATERED AND MULCHED PER CONSTRUCTION DOCUMENTS.
- ALL PROPOSED PLANT SUBSTITUTIONS WITHIN DETENTION AREAS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON THE APPROVED PLANS WILL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE.
- CONTRACTOR RESPONSIBLE FOR THE MAINTENANCE ALL PLANT MATERIAL WITHIN DETENTION AREAS AS SPECIFIED BY THE LANDSCAPE ARCHITECT FOR THE FIRST YEAR AFTER INSTALLATION.
- ALL PLANT MATERIAL WITHIN DETENTION AREAS TO HAVE A 1 YEAR WARRANTY STARTING UPON LANDSCAPE ARCHITECT ISSUING "SUBSTANTIAL COMPLETION".
- WATER FOWL BARRIER CONTROL TO BE INSTALLED AT 8" O.C. IN ALL DETENTION AREAS PLANTED WITH PLUGS.
- METAL SIGNS (12"x18") TO BE INSTALLED AT 150' INTERVALS AROUND ALL NATIVE AREAS STATING "NATIVE PLANTING DO NOT MOW".
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

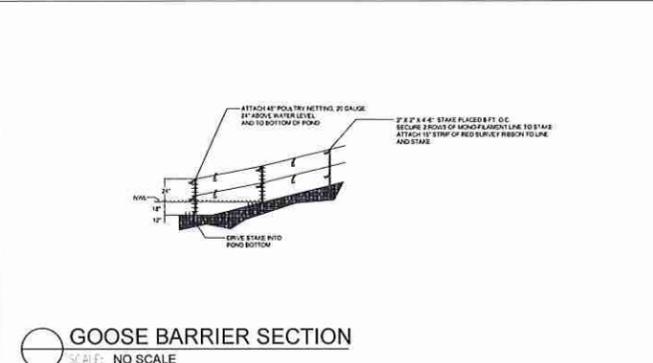
**BIODETENTION PLANTING DETAIL**

SCALE: NO SCALE



**GOOSE BARRIER PLAN**

SCALE: NO SCALE

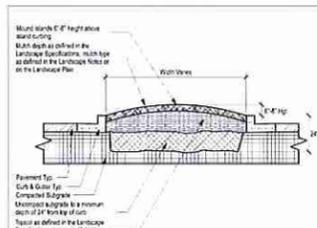


**GOOSE BARRIER SECTION**

SCALE: NO SCALE

**GENERAL CONSTRUCTION NOTES**

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED. SEE TREE PRESERVATION PLAN, SHEET L100, FOR DETAILS.
- A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE FORESTRY DEPARTMENT PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES FOUR (4) INCHES OR MORE D.B.H. SEE TREE PRESERVATION PLAN, SHEET L100, FOR DETAILS.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL PARKING LOT ISLANDS SHALL BE BACKFILLED WITH THE FOLLOWING: 2" OF BLENDED GARDEN SOIL MIX (60% TOPSOIL, 30% COMPOST, 10% SAND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP DRESSED AND TILLED INTO 18" OF TOPSOIL.
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOOTHING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP OF THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

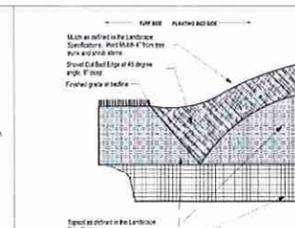


NOTE: 1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

**PARKING LOT ISLAND**

SCALE: NO SCALE

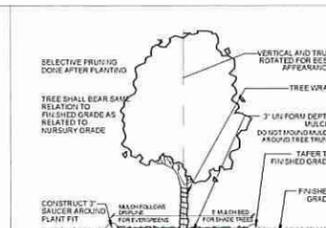


NOTE: 1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

**SPADED PLANTING BED EDGE**

SCALE: NO SCALE

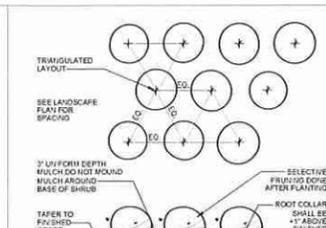


NOTE: 1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

**TREE PLANTING DETAIL**

SCALE: NO SCALE

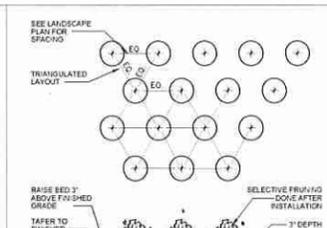


NOTE: 1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

**SHRUB PLANTING DETAIL**

SCALE: NO SCALE



NOTE: 1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

1. Clear construction debris from entire landscape area... 2. Plant material... 3. Topsoil... 4. Compost...

**GROUNDCOVER DETAIL**

SCALE: NO SCALE

**Kathryn Talty**  
landscape architecture  
Winnetka, Illinois 60093  
847.612.5154  
www.kmtaltydesign.com

no	revision description	initial	date
1	ISSUED FOR REVIEW	KMT	01-27-21
2	ISSUED FOR REVIEW	KMT	04-01-21

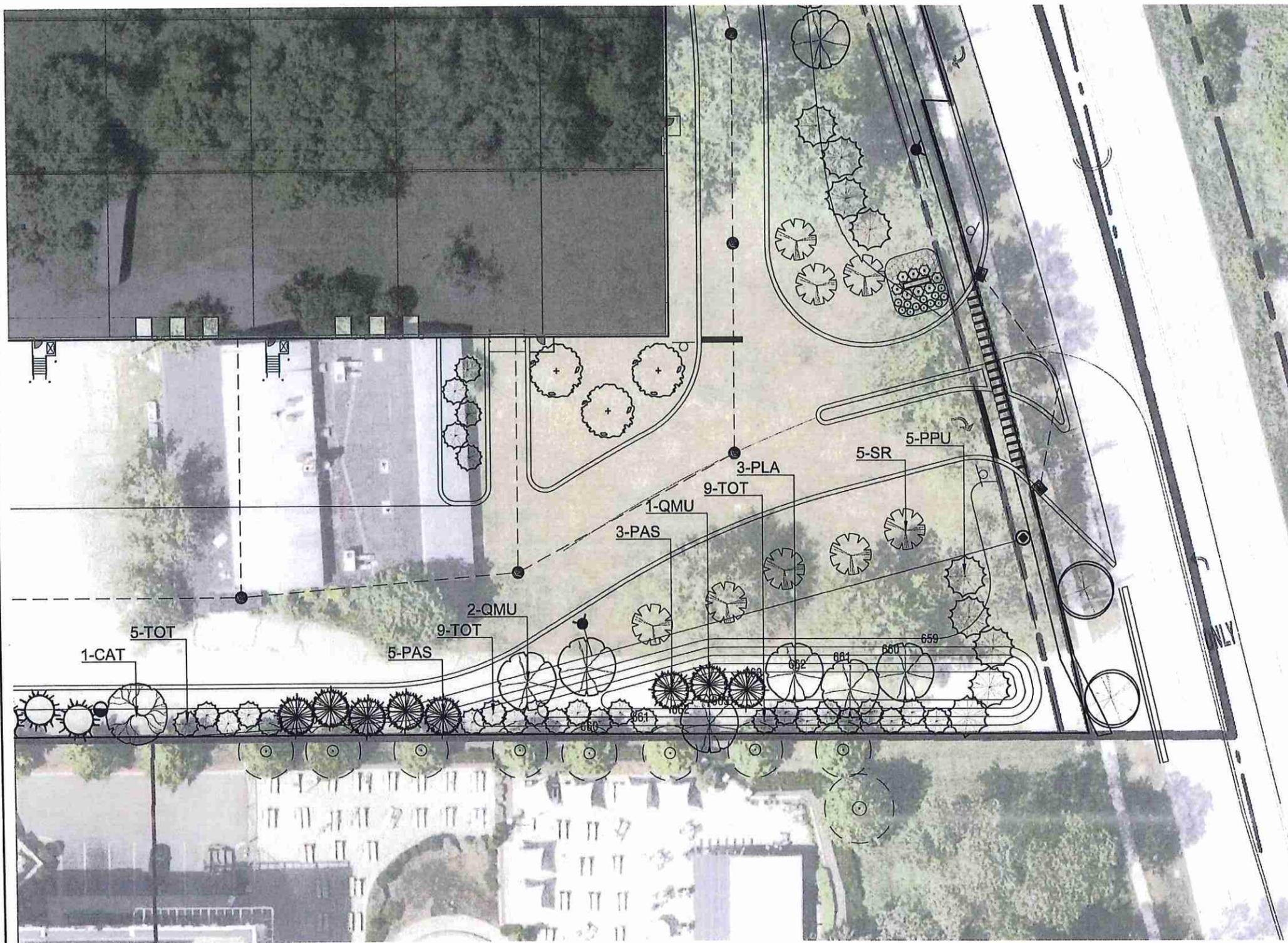
**PROPOSED FACILITY**  
634 MILWAUKEE AVENUE  
VERNON HILLS, ILLINOIS

**LANDSCAPE NOTES**  
MASTER PLANT LIST  
PLANTING SPECIFICATIONS  
DETAILS

date: 01-27-21  
drawn: KMT  
checked: KMT

job no.: 21060

sheet no.: L 2.1



GREEN GIANT ARBORVITAE (TOT)



LONDON PLANETREE (PLA)



TREE LILAC (SR)



COLORADO SPRUCE (PPU)



CHINKAPIN OAK (QMU)



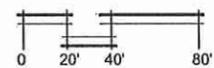
NORWAY SPRUCE (PAS)



NORTHERN CATALPA (CAT)

OVERALL LANDSCAPE PLAN

SCALE: 1" = 40'-0"



**Kathryn Talty**  
landscape architecture

Winnetka, Illinois 60093  
847.612.5154  
www.kmtaltydesign.com

**ENHANCED LANDSCAPE  
BUFFER**

**PROPOSED FACILITY**

634 MILWAUKEE AVENUE  
VERNON HILLS, ILLINOIS

DATE:  
06.29.21

SHEET NO:

**LSK -1**

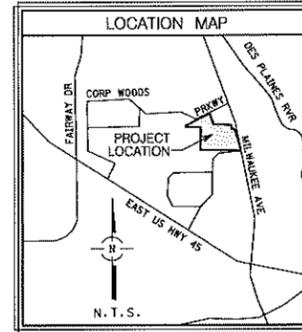
INITIALS:  
KMT





# PLAT OF SUBDIVISION SOUTH LAKE INDUSTRIAL CENTER UNIT 2

BEING PARCELS OF LAND FALLING IN THE SOUTH HALF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS.



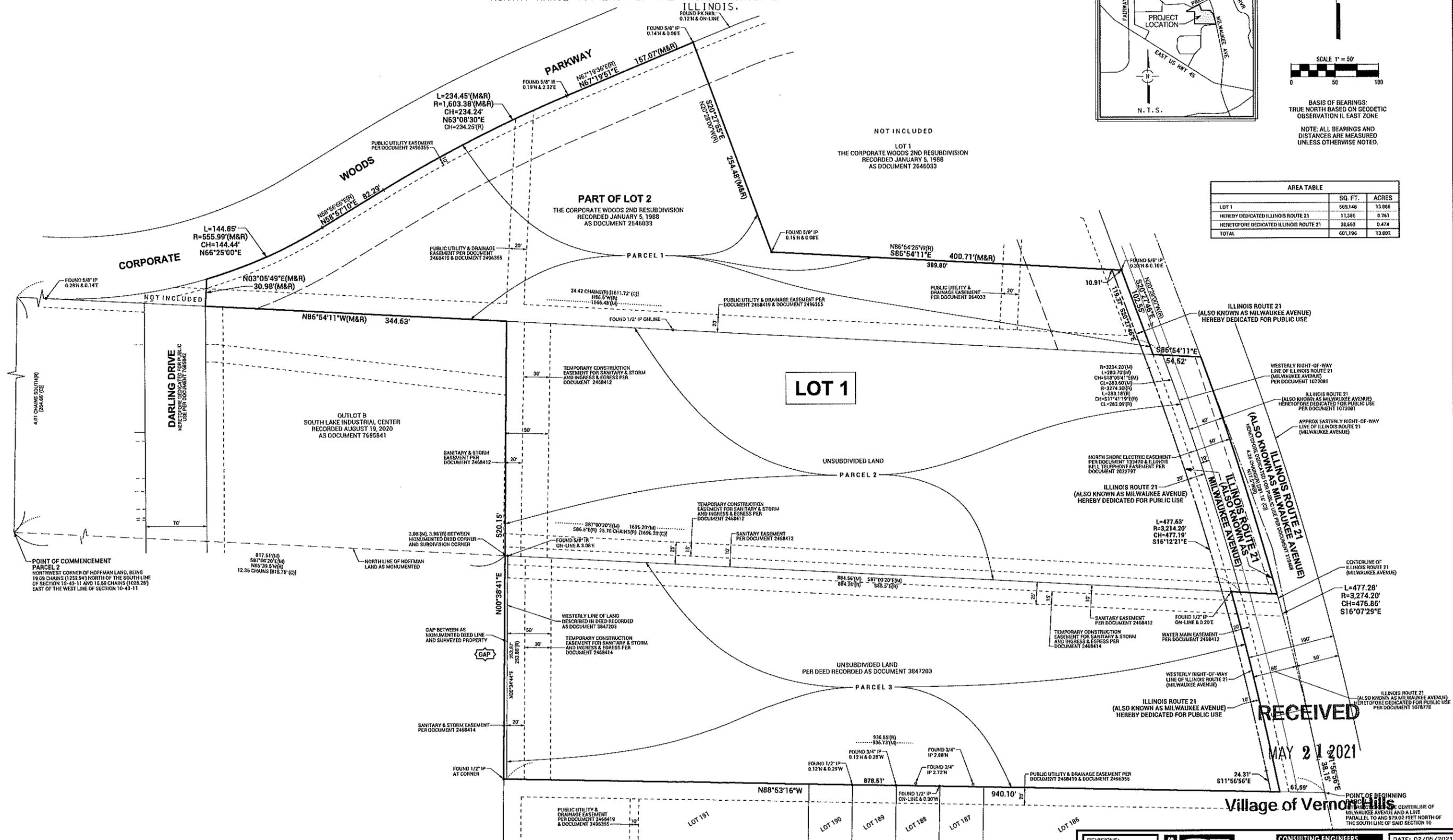
P.L.N.:  
15-10-300-003  
15-10-300-007  
15-10-304-007

SCALE 1" = 50'

BASIS OF BEARINGS:  
TRUE NORTH BASED ON GEODETIC  
OBSERVATION IL EAST ZONE

NOTE: ALL BEARINGS AND  
DISTANCES ARE MEASURED  
UNLESS OTHERWISE NOTED.

AREA TABLE		
	SQ. FT.	ACRES
LOT 1	569,148	13.066
HEREBY DEDICATED ILLINOIS ROUTE 21	11,285	0.261
HEREFOR DEDICATED ILLINOIS ROUTE 21	20,653	0.474
TOTAL	601,196	13.802



POINT OF COMMENCEMENT  
PARCEL 2  
NORTHWEST CORNER OF HOFFMAN LAND, BEING  
19.09 CHAINS (1,529.241') NORTH OF THE SOUTH LINE  
OF SECTION 10-43-11 AND 15.58 CHAINS (1,028.28')  
EAST OF THE WEST LINE OF SECTION 10-43-11

**RECEIVED**  
MAY 21 2021  
3:15 PM  
SPAGECO INC.

Village of Vernon Hills  
POINT OF BEGINNING  
CENTERLINE OF  
MILWAUKEE AVENUE AND A LINE  
PARALLEL TO AND 979.03 FEET NORTH OF  
THE SOUTH LINE OF SAID SECTION 10

PREPARED FOR:  
PANATTONI DEVELOPMENT COMPANY  
6250 N. RIVER ROAD, SUITE 4050  
ROSEMONT, IL 60018

FOR REVIEW  
PURPOSES ONLY

THE CORPORATE WOODS  
RECORDED AUGUST 5, 1986  
AS DOCUMENT 2468419  
RERECORDED OCTOBER 22, 1986  
AS DOCUMENT 2495355

REVISIONS:
04/05/2021



CONSULTING ENGINEERS  
SITE DEVELOPMENT ENGINEERS  
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/05/2021
JOB NO: 10770.03
FILENAME: 10770.03PREPLAT-01
SHEET 1 OF 2

# PLAT OF SUBDIVISION

# SOUTH LAKE INDUSTRIAL CENTER UNIT 2

P.L.N.:  
15-10-300-003  
15-10-300-007  
15-10-304-007

SUBMITTED BY: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

BEING PARCELS OF LAND FALLING IN THE SOUTH HALF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LAKE COUNTY, ILLINOIS.

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
\_\_\_\_\_) DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREON AND IT HAS CAUSED THE SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN.  
TO THE BEST OF OUR KNOWLEDGE, THE PROPERTY DESCRIBED HEREON LIES WITHIN THE HAWTHORNE GRADE SCHOOL DISTRICT # \_\_\_\_\_  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
\_\_\_\_\_) COLLECTOR FOR THE VILLAGE OF VERNON HILLS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.  
DATED AT VERNON HILLS, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
I, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY, THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SECRETARY OF SAID CORPORATION, AND PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND SEVERALLY ACKNOWLEDGED THAT AS SUCH PRESIDENT AND SECRETARY, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT PURSUANT TO AUTHORITY GIVEN BY THE BOARD OF DIRECTORS OF SAID CORPORATION, AS THEIR FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.  
GIVEN UNDER MY HAND AND OFFICIAL SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.  
\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
VILLAGE COLLECTOR  
  
STATE OF ILLINOIS )  
COUNTY OF LAKE )  
APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.  
\_\_\_\_\_  
VILLAGE PRESIDENT  
\_\_\_\_\_  
ATTTEST: \_\_\_\_\_  
VILLAGE CLERK

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
\_\_\_\_\_) COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I DO FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.  
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY OF LAKE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.  
\_\_\_\_\_  
COUNTY CLERK

SURFACE WATER DRAINAGE STATEMENT  
STATE OF ILLINOIS )  
COUNTY OF COOK )  
\_\_\_\_\_) TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLAINED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
\_\_\_\_\_) DESIGN ENGINEER OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.  
\_\_\_\_\_  
VILLAGE ENGINEER

\_\_\_\_\_) DESIGN ENGINEER PRESIDENT, SPACECO, INC. ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
\_\_\_\_\_) OWNER OR ATTORNEY FOR OWNER  
\_\_\_\_\_  
STATE REGISTRATION NUMBER  
\_\_\_\_\_  
REGISTRATION EXPIRATION DATE

STATE OF ILLINOIS )  
COUNTY OF LAKE )  
\_\_\_\_\_) APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.  
\_\_\_\_\_  
CHAIRMAN  
\_\_\_\_\_  
ATTTEST: \_\_\_\_\_  
SECRETARY

PROPERTY DESCRIPTION:  
Parcel 1  
LOT 2 IN THE CORPORATE WOODS 2ND RESUBDIVISION, BEING A SUBDIVISION OF LOTS 146 AND 147 IN THE CORPORATE WOODS, A SUBDIVISION OF PORTIONS OF SECTIONS 9, 10, 15 AND 16, ALL IN TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID 2ND RESUBDIVISION RECORDED JANUARY 5, 1988, AS DOCUMENT NUMBER 254603, EXCEPT THE WESTERLY 18.00 FEET THEREOF, AS MEASURED FROM THE WESTERLY CORNER, ALONG THE SOUTH LINE THEREOF, AND PERPENDICULAR TO SAID SOUTH LINE, IN LAKE COUNTY, ILLINOIS.  
Parcel 2  
ALTERNATE POST SUBDIVISION DESCRIPTION:  
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE HOFFMAN FARM, WHICH POINT IS 18.00 CHAINS NORTH OF THE SOUTH LINE OF SAID SECTION 10 AND 16.58 CHAINS EAST OF THE WEST LINE OF SAID SECTION AND RUNNING THENCE SOUTH 86-1/2 DEGREES EAST ALONG THE NORTH LINE OF SAID HOFFMAN FARM 25.70 CHAINS TO THE CENTERLINE OF THE CHICAGO AND MILWAUKEE ROAD; THENCE NORTH 17-1/2 DEGREES WEST ALONG THE CENTERLINE OF SAID ROAD, 4.26 CHAINS; THENCE NORTH 85-1/2 DEGREES WEST 24.42 CHAINS; THENCE SOUTH 4.01 CHAINS TO THE PLACE OF BEGINNING, EXCEPT THAT PART OF THE LAND FALLING IN THE FINAL PLAT OF SUBDIVISION SOUTH LAKE INDUSTRIAL CENTER, BEING A SUBDIVISION IN PARTS OF SECTIONS 9 AND 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2020 AS DOCUMENT NUMBER 7658841, IN LAKE COUNTY, ILLINOIS.  
Parcel 3  
THAT PART OF THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF MILWAUKEE AVENUE AND A LINE PARALLEL TO AND 973.02 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 10; THENCE WEST PARALLEL TO THE SAID SOUTH LINE 836.66 FEET; THENCE NORTHERLY ALONG A LINE DEFLECTING 89 DEGREES 28 MINUTES TO THE RIGHT FROM AN EXTENSION OF THE LAST DESCRIBED LINE, 253.88 FEET; THENCE SOUTH 86 DEGREES 39 1/2 MINUTES EAST, 884.20 FEET TO SAID CENTERLINE; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE, AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 2774.2 FEET, A DISTANCE OF 188.60 FEET; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE TANGENT TO THE LAST DESCRIBED CURVE, 42.96 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

STATE OF ILLINOIS )  
COUNTY OF COOK )  
WE DECLARE THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND SUBDIVIDED BY SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-00167, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.  
SAID PROPERTY CONTAINS 601,96 SQUARE FEET OR 13.802 ACRES, MORE OR LESS.  
WE FURTHER DECLARE THAT THE LAND IS WITHIN THE VILLAGE OF VERNON HILLS WHICH HAS ADOPTED A CITY COMPREHENSIVE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.  
WE FURTHER DECLARE, BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP PANEL BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBERS 17070224K & 17070224K MAPS BOTH WITH AN EFFECTIVE DATE/DATE REVISED OF SEPTEMBER 18, 2013, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY SAID F.I.R.M. MAP.  
WE FURTHER DECLARE THAT STEEL REINFORCING RODS (UNLESS OTHERWISE NOTED) WILL BE SET AT ALL LOT CORNERS.  
GIVEN UNDER MY HAND AND SEAL IN ROSEMONT, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

JERRY P. CHRISTOPH, I.P.L.S. No. 035-3540  
LICENSE EXPIRES: 11-30-2022  
(VALID ONLY IF EMBOSSED SEAL AFFIXED)



PREPARED FOR:  
PANATTONI DEVELOPMENT COMPANY  
6250 N. RIVER ROAD, SUITE 4050  
ROSEMONT, IL 60018

FOR REVIEW  
PURPOSES ONLY

REVISIONS: 04/05/2021	SPACECO, INC.	CONSULTING ENGINEERS	DATE: 02/05/2021
		SITE DEVELOPING ENGINEERS	JOB NO: 10770.03
		LAND SURVEYORS	FILENAME: 10770-03PREPLAT-01
		9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018	SHEET 2 OF 2
		Phone: (847) 696-4060 Fax: (847) 696-4065	



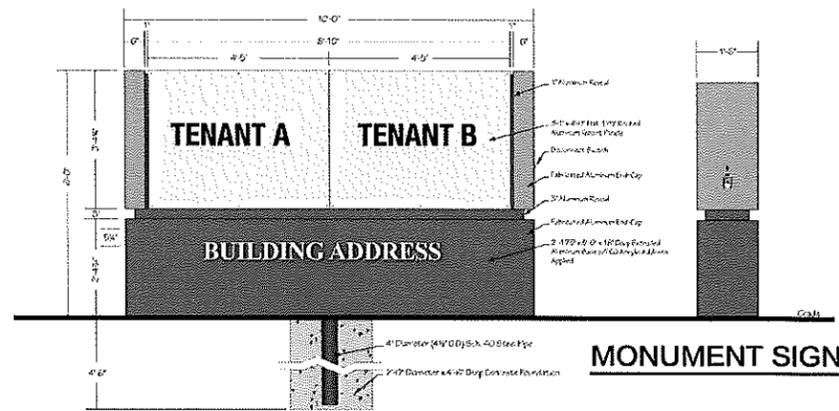
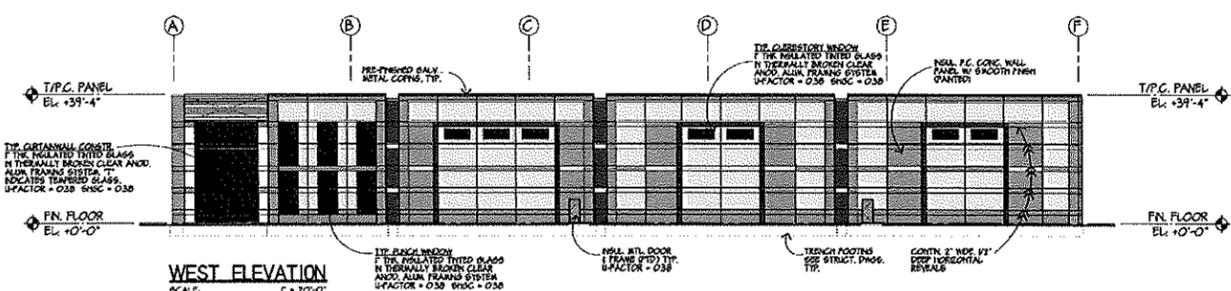
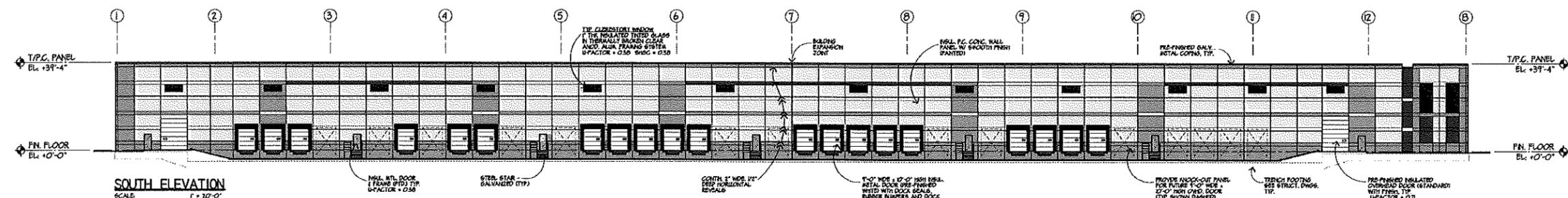
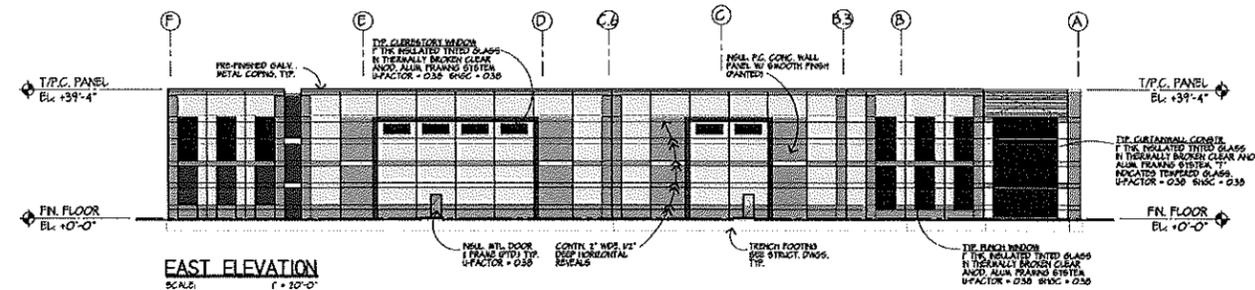
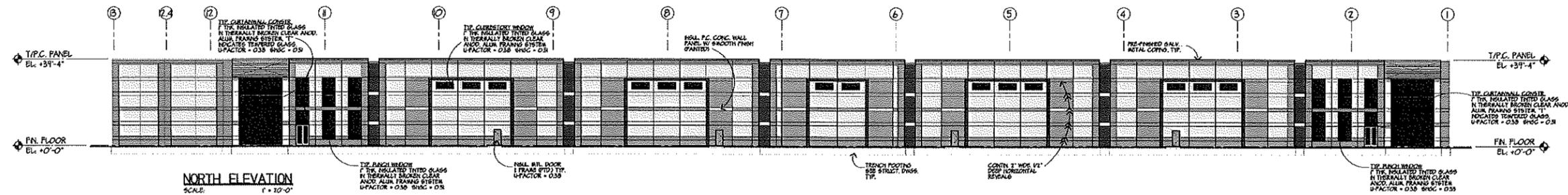
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MAY 19 2021

Village of Verner Hills

CONCEPTUAL ARCHITECTURAL RENDERING





**EXTERIOR PAINT - COLOR LEGEND**

	HIGH REFLECTIVE WHITE - SW 7157 SHERWIN WILLIAMS		FASCIA & GRAVEL STOP PAC-CLAD STONE WHITE
	SITE WHITE - SW 7070 SHERWIN WILLIAMS		CURTAINWALL SYSTEM FRAMES - CLEAR ANODIZED ALUMINUM INSUL. GLASS - GREY TINTED
	NETWORK GRAY - SW 7073 SHERWIN WILLIAMS		PUNCHED/CLEARSTORY WINDOWS FRAMES - CLEAR ANODIZED ALUMINUM INSUL. GLASS - GREY TINTED
	WEB GRAY - SW 7075 SHERWIN WILLIAMS		INSUL. MTL. DOORS/FRAMES FRAME - PAINTED TO MATCH PRECAST DOOR - PAINTED TO MATCH PRECAST
			OVERHEAD DOORS DRIVE-IN DOORS - PREFINISHED WHITE DOCK DOORS - PREFINISHED WHITE
			PPE BOLLARDS SAFETY YELLOW

**alston**  
CONSTRUCTION

HARRIS ARCHITECTS, INC.  
480 EASTERN AVENUE, PLAINFIELD, ILLINOIS 62558  
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NEW OFFICEWAREHOUSE BUILDING  
**SOUTH LAKE INDUSTRIAL CENTER**  
BUILDING E  
VERNON HILLS, ILLINOIS

07-07-2011

IN-PROGRESS

PROJECT NO.  
220360  
DRAWN BY:  
NAE  
DATABASE:  
220360

SHEET NO.  
**A2.0**  
X OF X SHEETS