

VILLAGE OF VERNON HILLS

ORDINANCE 2015-020

AN ORDINANCE AMENDING ORDINANCE 2008-061 TO AMEND THE EXISTING SPECIAL USE PERMIT AND GRANT CERTAIN APPROVALS TO ALLOW CONSTRUCTION OF A PARKING LOT ON A PORTION OF LOT 2 IN THE COOK MEMORIAL SUBDIVISION, LOCATED GENERALLY EAST OF THE INTERSECTION OF ASPEN DRIVE AND ASPEN POINTE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY

THE 11<sup>th</sup> DAY OF AUGUST 2015

Published in pamphlet form by the Authority of the President and Board of Trustees of the Village of Vernon Hills, Lake County, Illinois, this 13<sup>th</sup> Day of August, 2015

**ORDINANCE NO. 2015-020**

**AN ORDINANCE AMENDING ORDINANCE  
2008-061 TO AMEND THE EXISTING  
SPECIAL USE PERMIT AND GRANT  
CERTAIN APPROVALS TO ALLOW  
CONSTRUCTION OF A PARKING LOT ON A  
PORTION OF LOT 2 IN THE COOK  
MEMORIAL SUBDIVISION, LOCATED  
GENERALLY EAST OF THE  
INTERSECTION OF ASPEN DRIVE AND  
ASPEN POINTE ROAD IN THE VILLAGE OF  
VERNON HILLS, LAKE COUNTY**

**WHEREAS**, Ordinance 2008-061 approved a Planned United Development to allow a three-lot subdivision known as Cook Memorial Subdivision with ownership and approval being granted for the construction of the Aspen Drive Library on Lot 1.

**WHEREAS**, the Village of Vernon Hills is the owner of property known as Lot 2 in the Cook Memorial Subdivision which is located south of and adjacent to Aspen Drive Library, said property is depicted in Exhibit A; and

**WHEREAS**, the Cook Memorial Library District owns Aspen Drive Library; and

**WHEREAS**, Kurt Hezner of Hezner Corporation, representing the Cook Memorial Library District in regards to property commonly known Lot 2 of the Cook Memorial Subdivision, a Planned United Development approved via Ordinance 2008-061, has petitioned the Village of Vernon Hills for the following:

1. To amend the Special Use Permit for a Planned Unit Development to allow development of a parking lot and related improvements on Lot 2 of the Cook Memorial Subdivision; and
2. Preliminary and final site and landscaping plan approvals.

**WHEREAS**, the requested approvals would be in general compliance with the following plans:

- Proposed Landscape Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Site Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Photometric Plans prepared by Hezner Corporation received on April 7, 2015 and consisting of 1 page.

Said Plans are attached hereto as Exhibit B; and

**WHEREAS**, upon due notice and after public hearing held April 15, 2015 by the Planning and Zoning Commission of the Village of Vernon Hills, and pursuant to the

Vernon Hills Zoning Ordinance of 1982, as amended, said Planning and Zoning Commission has filed its report concerning said petition as listed above.

**WHEREAS**, based upon the evidence adduced at said hearings and in their application, the petitioner has entered into the record evidence and findings of fact that address the conditions in Section 18.3 and 21.6 of the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:**

**SECTION I.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, amend the Special Use Permit for a Planned Unit Development to allow development of a parking lot and related improvements on a portion Lot 2 of the Cook Memorial Subdivision.

**SECTION II.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, approvals of the preliminary and final site and landscaping plans for Lot 2 as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION III.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final approvals of the architectural elevations as setforth in Exhibit B are hereby granted subject to the conditions listed in Section V.

**SECTION IV.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, the preliminary and final site improvement plans as setforth in Exhibit B are hereby approved subject to the conditions listed below in Section V.

**SECTION V.** Pursuant to the Vernon Hills Zoning Ordinance of 1982, as amended, and the recommendations of the Planning and Zoning Commission, the terms and conditions as set forth in Exhibit C are hereby approved and are made a part of the approvals as listed in the Sections above.

**SECTION VI. SEVERABILITY.** In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

**SECTION VII. REPEAL AND SAVINGS CLAUSE.** All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

**SECTION VIII. SUCCESSORS AND ASSIGNS.** All of the provisions of this Ordinance and the attachments hereto are binding on all successors and assigns of the petitioner and property owner.

**SECTION IX. EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

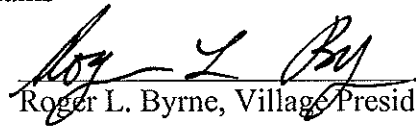
**SECTION X. ORDINANCE NUMBER.** This ordinance shall be known as Ordinance Number 2015-020.

Adopted by roll call vote as follows:

AYES: 4 – Hebda, Koch, Marquardt, Schwartz

NAYS: 0 - None

ABSENT AND NOT VOTING: 2 – Schultz, Williams

  
Roger L. Byrne, Village President

PASSED: 8/11/2015

APPROVED: 8/11/2015

PUBLISHED IN PAMPHLET FORM: 8/13/2015

ATTEST:

  
\_\_\_\_\_  
John Kalma, Village Clerk

**Exhibit A**  
**Legal Description**

BEING A SUBDIVISION OF PART OF THE NORTH EAST 1/4 OF SECTION 5,  
TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE 3RD PRINCIPAL MERIDIAN  
THE WEST 425.60 FEET OF THE EAST 1382.50 FEET OF THE NORTH 815.00  
FEET OF THE NORTH EAST 1/4 OF SECTION 5, TOWNSHIP 43 NORTH,  
RANGE 11 EAST OF THE 3RD PRINCIPAL MERIDIAN, EXCEPT THE NORTH  
265.00 FEET OF THAT PART OF SAID NORTH EAST 1/4 OF SECTION 5 LYING  
SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 60  
ACCORDING TO THE PLAT OF HIGHWAYS RECORDED AS DOCUMENT no.  
330737, ALSO EXCEPT THE WESTERLY 12.00 FEET THEREOF, IN THE  
VILLAGE OF VERNON HILLS.

**Exhibit B**

**Plans**

General Compliance with the following plans:

- Proposed Landscape Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Site Plan prepared by Hezner Corporation with a date of April 6, 2015 and consisting of 2 pages.
- Proposed Photometric Plans prepared by Hezner Corporation received on April 7, 2015 and consisting of 1 page.

**Exhibit C**  
**Terms and Conditions of Approval**

Conditions of Approval for the entire Site:

1. Final approval of plans by the Village Engineer and Landscape Architect prior to issuance of a building permit.
2. Approval of a License Agreement for parking lot construction and maintenance between the Village of Vernon Hills, Vernon Hills Park District, and the Cook Memorial Library District.
3. Compliance with all ordinances and standards of the Village except as otherwise noted.

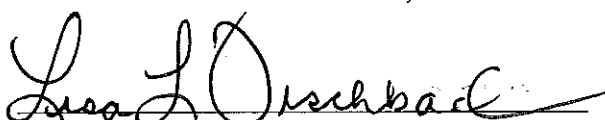
AFFIDAVIT OF SERVICE

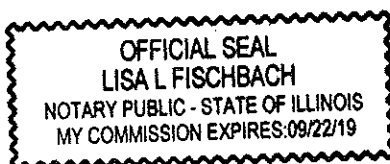
STATE OF ILLINOIS        )  
  )  
COUNTY OF LAKE         )

I, JOHN M. KALMAR, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE 2015-020 AN ORDINANCE AMENDING ORDINANCE 2008-061 TO AMEND THE EXISTING SPECIAL USE PERMIT AND GRANT CERTAIN APPROVALS TO ALLOW CONSTRUCTION OF A PARKING LOT ON A PORTION OF LOT 2 IN THE COOK MEMORIAL SUBDIVISION, LOCATED GENERALLY EAST OF THE INTERSECTION OF ASPEN DRIVE AND ASPEN POINTE ROAD IN THE VILLAGE OF VERNON HILLS, LAKE COUNTY TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM AUGUST 13, 2015 TO AUGUST 23, 2015

  
\_\_\_\_\_  
JOHN M. KALMAR, VILLAGE CLERK

SUBSCRIBED AND SWORN TO BEFORE  
THIS 13<sup>th</sup> DAY OF AUGUST, 2015

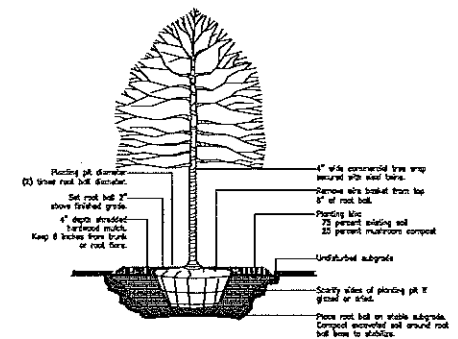
  
Notary Public



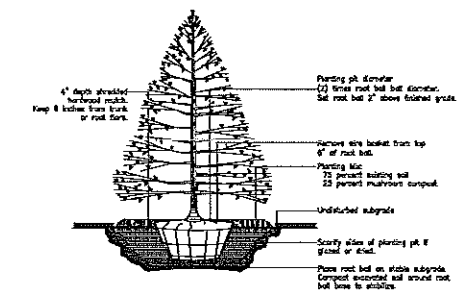




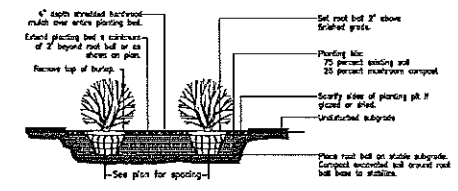




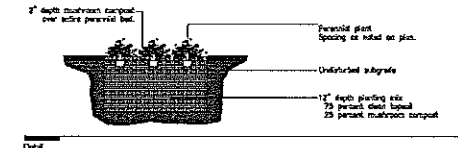
Detail  
Deciduous Tree Planting



Detail  
Evergreen Tree Planting



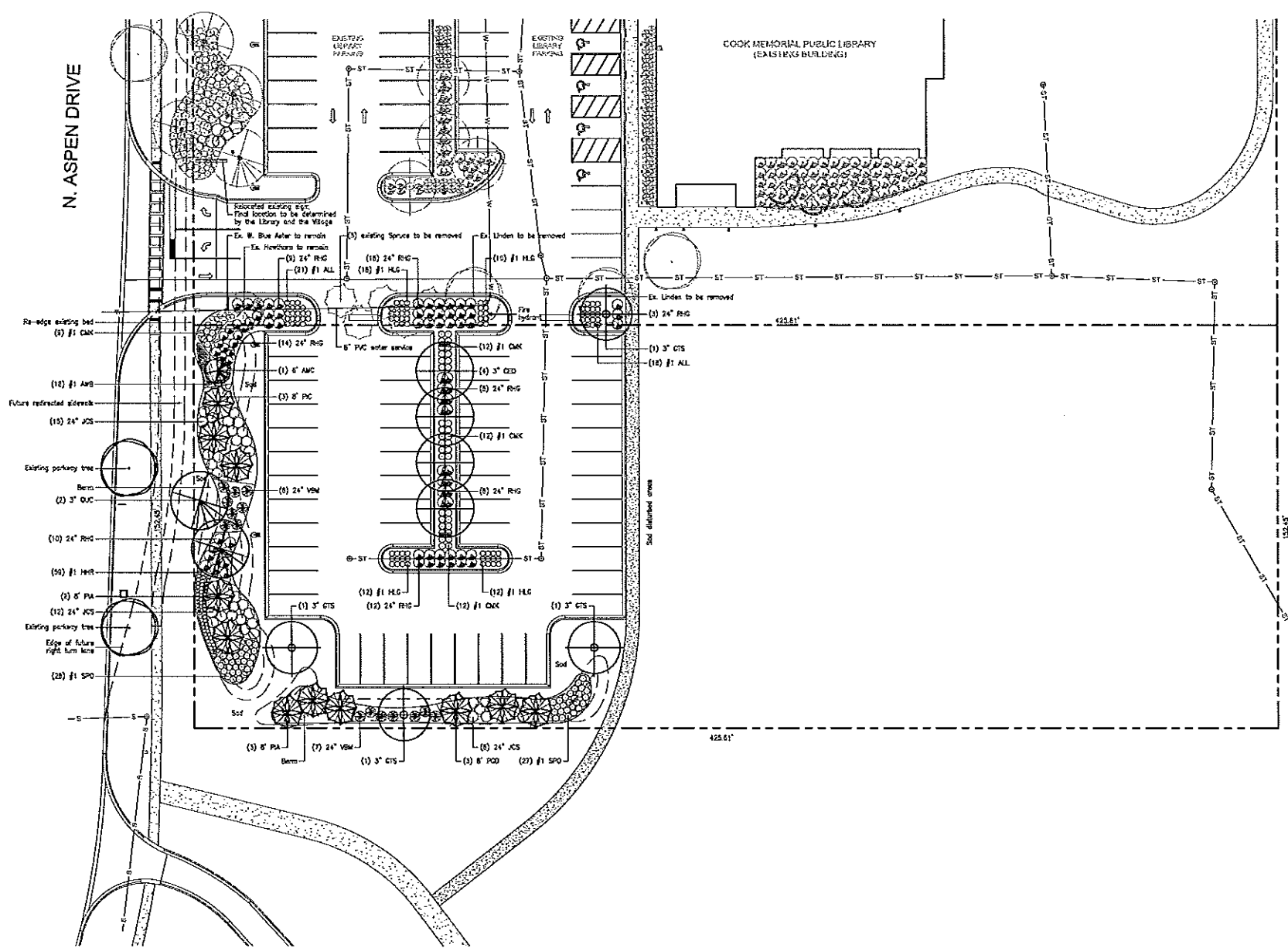
Detail  
Shrub Planting



Detail  
Perennial Planting

**Plant List**

Key	Qty	Size	Botanical Name	Common Name	Remarks
CEJ	4	3"	Celastrus occidentalis 'Frolic Frolic'	Prickly Pear Common Hosiery	BB
GTS	4	3"	Quercus macrocarpa var. prinus 'Skyline'	Skyline Thornless Hicory	BB
QUC	2	3"	Quercus macrocarpa	Oklahoma Oak	BB
Ornamental Trees					
Key	Qty	Size	Botanical Name	Common Name	Remarks
ANC	1	6"	Anemone nemorosa	Shadblow	BB/Dump
Evergreen Trees					
Key	Qty	Size	Botanical Name	Common Name	Remarks
PDO	3	6"	Picea glauca 'Densata'	Stuck 1/2" Spruce	BB
PA	3	6"	Picea abies	Norway Spruce	BB
PC	3	6"	Picea pungens	Colorado Blue Spruce	BB
Shrubs					
Key	Qty	Size	Botanical Name	Common Name	Remarks
JCS	35	24"	Juniperus chinensis var. sargentii	Sargent Juniper	BB
RG	22	24"	Rhus glabra 'Cry-Line'	Co-Line Fragrant Sumac	BB
VSM	15	24"	Yucca filamentosa 'Colorata'	Blue Muffin Arrowweed Yucca	BB
Perennials and Ornamental Grasses					
Key	Qty	Size	Botanical Name	Common Name	Remarks
AL	30	1"	Alumina 'Summer Beauty'	Summer Beauty Alum	Container
AW	18	1"	Asplenium 'Wood's Blue'	Wood's Blue Asplenium	Container
OC	45	1"	Oenanthe lachnoides 'Karl Foerster'	Feather Reed Grass	Container
HE	50	1"	Hemerocallis 'Happy Returns'	Happy Returns Daylily	Container
HL	50	1"	Hemerocallis 'Lily Grapes'	Lily Grapes Daylily	Container
SP	50	1"	Sporobolus heterophyllus	Prinkie Dropseed	Container



Architect's Seal & Signature

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Drawn By: DRM  
Checked By: DRM  
Copyright 2015  
The Hezner Corporation  
Libertyville, Illinois 60048-2325

Date: 02/05  
02/05  
02/05

Issued For:  
Planning & Zoning  
Traffic Review Request  
Traffic Review Request

**REVISION SCHEDULE**

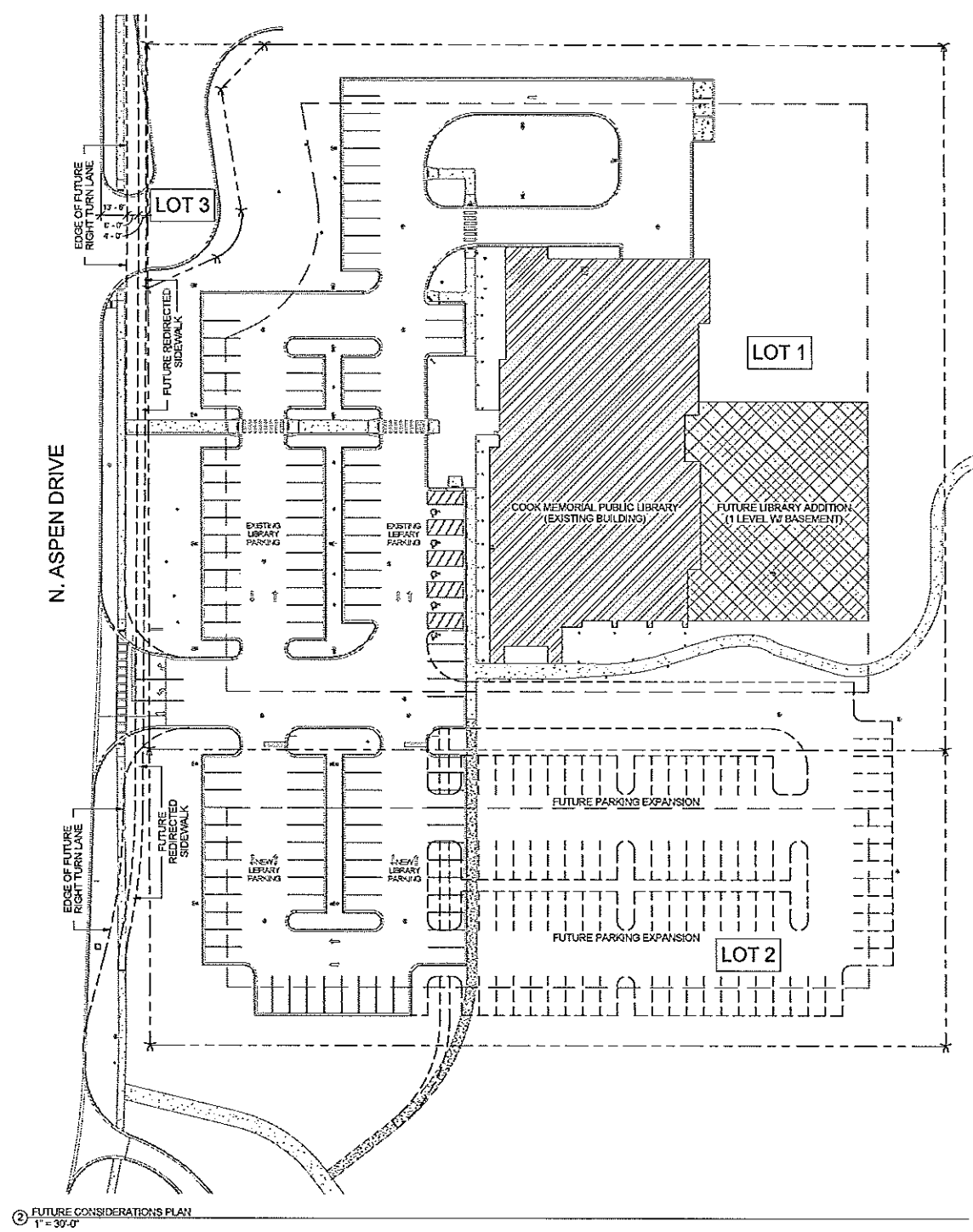
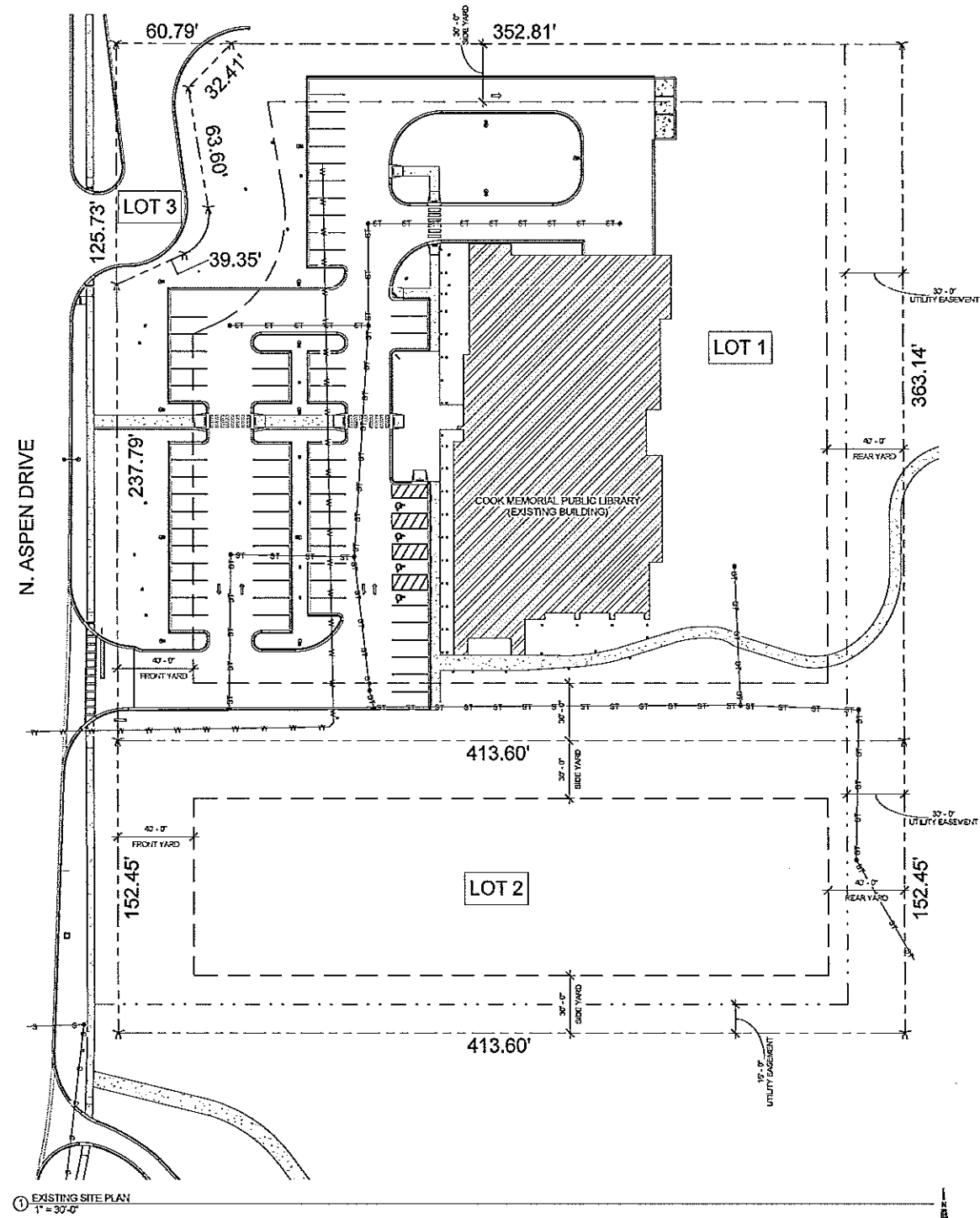
Rev.	Date	Issued For

Project Title  
**COOK MEMORIAL  
PUBLIC LIBRARY  
DISTRICT**  
Aspen Drive Library Parking Lot  
Expansion  
7701 Aspen Drive  
Vernon Hills, Illinois 60061

Sheet Title  
**LANDSCAPE  
DEVELOPMENT PLAN**

Architect's Project Number  
**C-870  
L101**

Ph: (847) 618-3300  
 Fax: (847) 543-7533  
 Email: hezner@hezner.biz



Architect's Seal & Signature

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Drawn By: RAJ

Checked By: SKH

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 Libertyville, Illinois 60048-2325

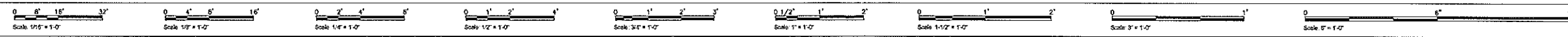
Date	Issued For:
02/05/2015	Planning & Zoning
03/09/2015	Tech. Review Response
04/06/2015	Tech. Review Response

REVISION SCHEDULE		
Rev.	Date	Issued For:

Project Title  
**COOK MEMORIAL  
 PUBLIC LIBRARY  
 DISTRICT**  
 Aspen Drive Library Parking Lot  
 Expansion  
 701 Aspen Drive  
 Vernon Hills, Illinois 60061

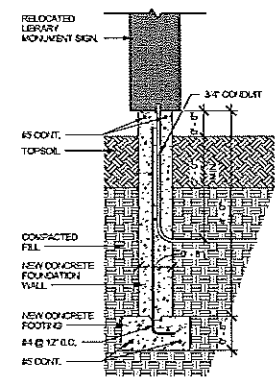
Sheet Title  
**EXISTING SITE PLAN &  
 FUTURE  
 CONSIDERATIONS PLAN  
 (FOR REFERENCE)**

Architect's Project Number  
**C-870**  
**AS100**

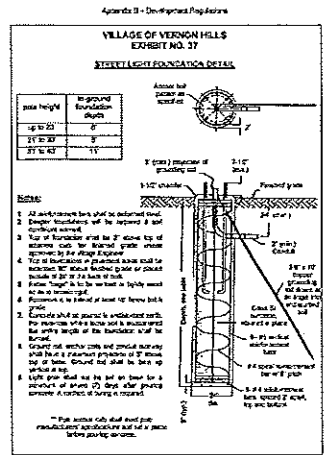


**KEYNOTES**

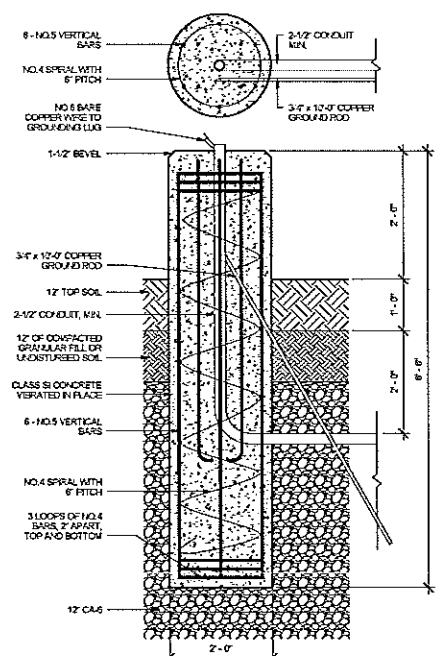
- 1 New concrete curb and gutter.
- 2 Transition between new and modified construction. Contractor shall repair any damage to existing conditions caused by construction activities to a like new condition.
- 3 New 4" wide pavement markings per Village of Vernon Hills standards.
- 4 New directional pavement markings.
- 5 New site lighting standard.
- 6 New handicap parking signs.
- 7 New stop sign.
- 8 New 24" wide white stop bar.
- 9 New location for relocated fire hydrant.
- 10 New location for relocated library monument sign. Extend power from nearest underground site lighting pole through new underground conduit to new monument sign.
- 11 New sidewalk.
- 12 New tactile warning surface.
- 13 New crosswalk pavement markings per Village of Vernon Hills standards.
- 14 Extended stop bar pavement markings per Village of Vernon Hills standards.
- 15 New lane designation markings per Village of Vernon Hills standards.
- 16 New handicap parking space.



5 Monument Sign Foundation  
3/4" = 1'-0"



4 DETAIL - SITE LIGHTING STANDARD (FOR REFERENCE)  
NOT TO SCALE



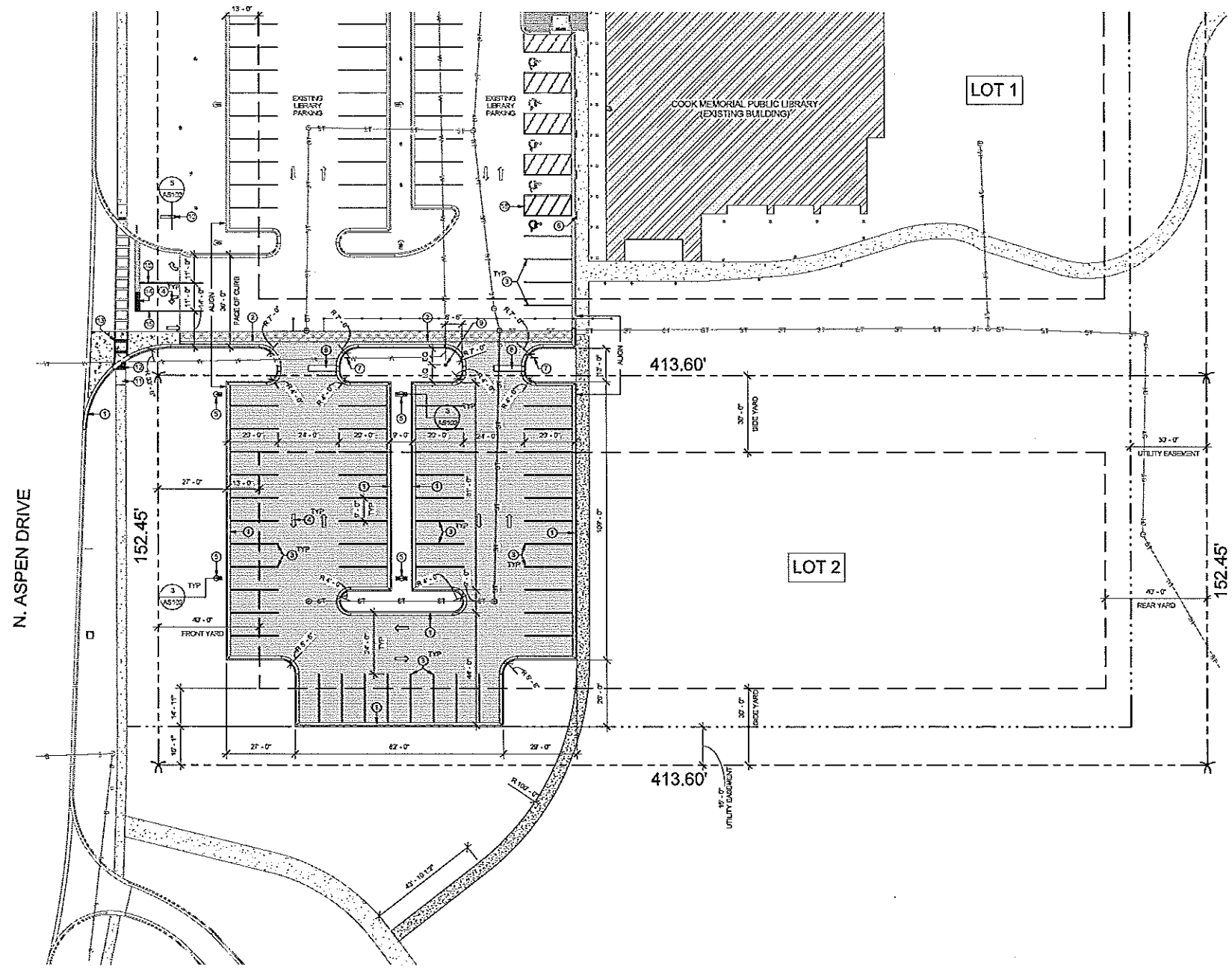
1. ALL BARS ARE TO BE DEFORMED STEEL.
2. DEEPER FOUNDATIONS WILL BE REINFORCED WITH #5 BARS.
3. TOP OF FOUNDATION SHALL BE 30" ABOVE FINISHED GRADE.
4. REBAR CAGE IS TO BE WELDED OR TIGHTLY WIRED SO AS TO REMAIN RIGID.
5. NOTIFY CITY ELECTRICAL INSPECTOR 24 HOURS PRIOR TO POURING.
6. FORMWORK IS TO EXTEND AT LEAST 18" BELOW GRADE.
7. ALL EXPOSED CONCRETE ABOVE FINISHED GRADE IS TO BE PROVIDED WITH RUBBED FINISH.

3 Site Lighting Standard  
3/4" = 1'-0"

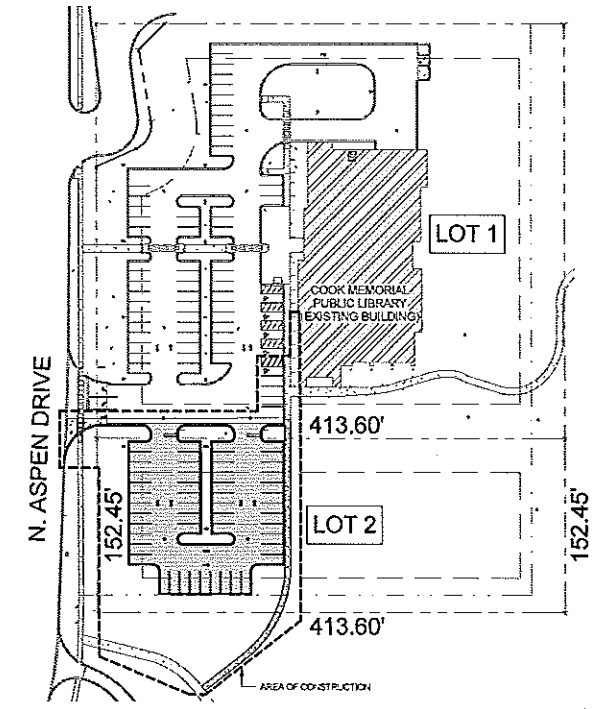
**PROJECT LEGEND**

---	PROPERTY LINE
---	SETBACK LINE
---	UTILITY EASEMENT
ST	STORM SEWER LINE
W	WATERMAIN LINE
■	SEWER CHASE GRATE
⊙	MANHOLE COVER
□	UNDERGROUND VAULT
—	SITE SIGNAGE
●	FIRE HYDRANT
⊙	SITE LIGHTING STANDARD
⊙	VILLAGE OF VERNON HILLS STREET LIGHTING STANDARD
▨	EXISTING ASPHALT PAVING TO BE REMOVED AND REPAVED TO ACCOMMODATE NEW PAVEMENT SECTION AND NEW FINISHED GRADE.
▨	NEW ASPHALT PAVING
▨	NEW CONCRETE PAVING
▨	EXISTING SIDEWALK WALKWAY
▨	NEW CONCRETE SIDEWALK
▨	EXISTING BUILDING
▨	MILL AND RESURFACING OF ASPHALT

**Hezner**  
The Hezner Corporation  
Architectural Services  
678 Broadway Street, Suite 100  
Libertyville, IL 60048-2325  
Ph: (847)618-3500  
Fax: (847)549-7833  
Email: hezner@hezner.biz



1 NEW SITE PLAN  
1" = 20'-0"



2 KEY PLAN  
1" = 60'-0"

Architect's Seal & Signature  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

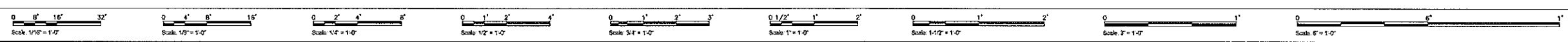
Drawn By: RAJ  
Checked By: SKH  
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The Hezner Corporation  
Libertyville, Illinois 60048-2325  
Date: 02/06/2015 Issued For: Planning & Zoning  
03/06/2015 Tech. Review Response  
04/06/2015 Tech. Review Response

REVISION SCHEDULE		
Rev.	Date	Issued For

Project Title  
**COOK MEMORIAL  
PUBLIC LIBRARY  
DISTRICT**  
Aspen Drive Library Parking Lot  
Expansion  
701 Aspen Drive  
Vernon Hills, Illinois 60061

Sheet Title  
**NEW SITE PLAN**

Architect's Project Number  
**C-870**  
**AS102**



**JOB NAME / AGENCY**  
**COOK MEMORIAL LIBRAR**  
 Pilipuf-Grist & Associates, Inc.

**POINT-BY-POINT CALCULATION**  
 Illuminance at Grade (Footcandles)  
 SCALE: 1" = 20'0"

**NOTES:**  
 See schedule for luminaire specifications.  
 Luminaire Symbols are not to scale.  
 Varying the position, mounting height, or orientation from what is specified in this drawing will invalidate the calculation performed.

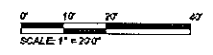
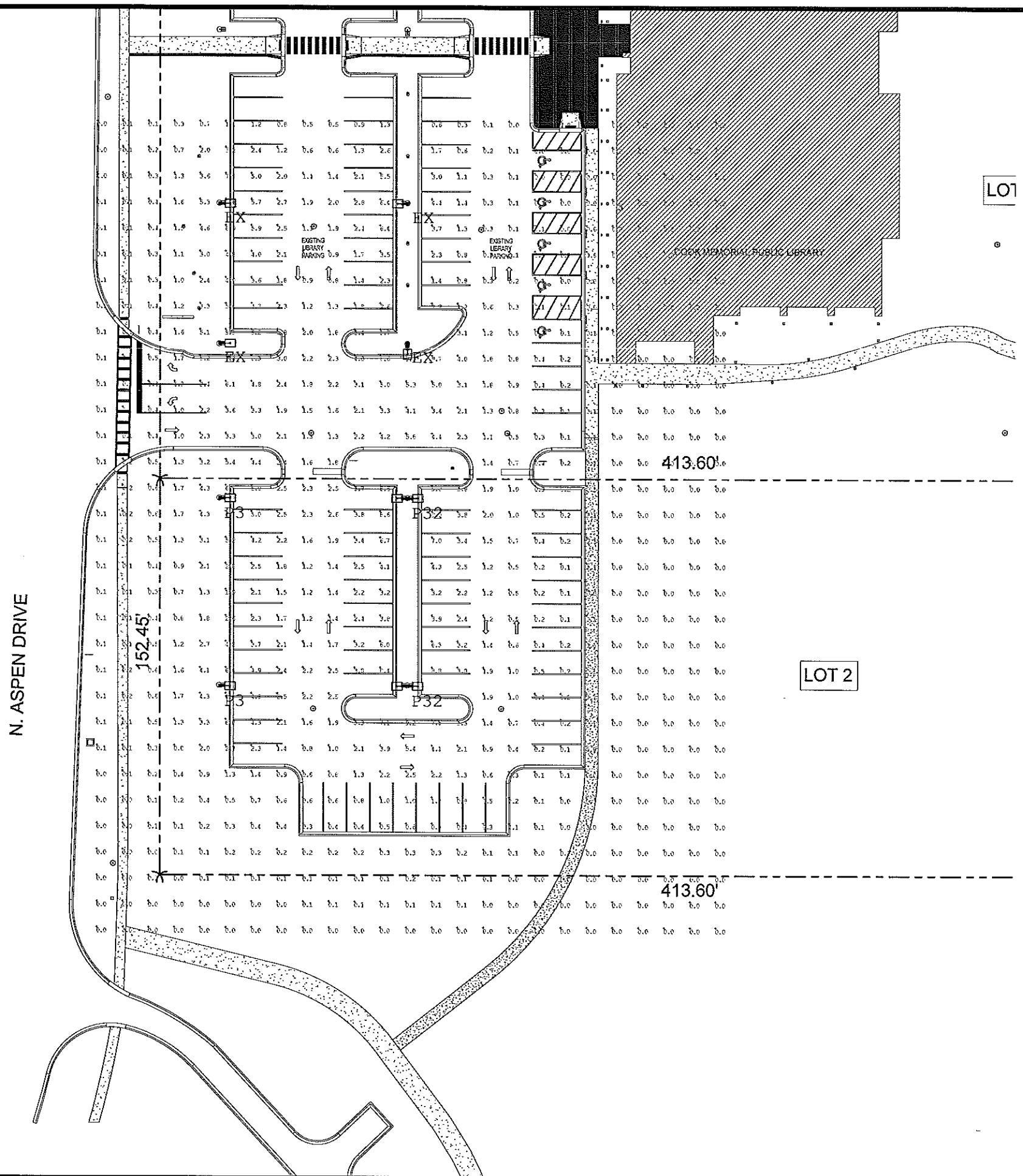
**U.S. ARCHITECTURAL LIGHTING**  
 Applications Department  
 600 West Avenue O  
 Palmdale, CA 93551  
 (818) 233-2000, Fax: (818) 233-2001  
 EMAIL: applications@usaltg.com

**DATA SUMMARY**

Location	Calculation Summary	Unit	Avg	Max	Min	Avg/Min	Max/Min
Non Parking Lot	Illuminance	Fc	2.37	9.2	0.1	22.72	22.20

**LUMINAIRE SCHEDULE**

Type	Symbol	Manufacturer / Catalog #	Description	Lamp Description	LLF	# of Type
P3		U.S. ARCHITECTURAL LIGHTING (U.S.ALT-SEG-01-250PSM3)	Pole Mounted, 12'7" Above Grade, Single Luminaire Pole, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	2 Tot.
P32		U.S. ARCHITECTURAL LIGHTING (U.S.ALT-SEG-01-250PSM4)	Pole Mounted, 12'7" Above Grade, Twin Luminaires @ 180°, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	2 Tot.
EX		U.S. ARCHITECTURAL LIGHTING (U.S.ALT-SEG-01-250PSM4)	Pole Mounted, 12'7" Above Grade, Single Luminaire Pole, Type III Reflector, Orient as Shown in Plan.	250 Watt Pulse Start Metal Halide 22,000 Initial Lumens	0.75	4 Tot.



U.S. ARCHITECTURAL LIGHTING  
 SUN VALLEY, CA  
 Applications Department  
 800 West Av  
 Palmdale, CA  
 93551  
 (818) 233-2000, Fax: (818) 233-2001  
 EMAIL: applications@usaltg.com

**U.S. ARCHITECTURAL LIGHTING**

Drawing: Point-By-Point Illuminance Calculation (At Grade)

Job: **COOK MEMORIAL LIBRARY**

Agency: Pilipuf-Grist & Associates, Inc.

LCP 4/2/15  
 1" = 20'

**L1**