

**VILLAGE OF VERNON HILLS
ORDINANCE 2024-021**

**AN ORDINANCE AMENDING ORDINANCE 2013-013 AND 2013-014, COLLECTIVELY THE
HAWTHORN MALL PUD, RELATED TO THE DEVELOPMENT OF YARD HOUSE
RESTAURANT WITH OUTDOOR DINING ON AN OUTLOT AT 950 N. MILWAUKEE
AVENUE**

WHEREAS, Centennial Real Estate, owner of certain vacant property located at 950 N. Milwaukee Avenue, within the Hawthorn Mall PUD as legally described in Exhibit A, has petitioned the Village of Vernon Hills, for the following:

1. Approval to amend Ordinance 2013-013, as amended, granting preliminary and final site plan approval, landscaping approval, and architectural approval; and
2. Approval to amend Ordinance 2013-014, as amended, authorizing revisions to a Special Use Permit granting a P.U.D. for Hawthorn Mall to allow the construction of an 8,800 sq ft restaurant, with additional seating within an 825 sq ft seasonal patio and a 2,170 sq ft outdoor dining area;
3. Approval to amend Ordinance 2013-014 as amended, granting certain variations related to the Zoning Ordinance, Sign Code, and Building Code; and

WHEREAS, the Planning and Zoning Commission of the Village of Vernon Hills held a public hearing, duly noticed, on January 31, 2024, and pursuant to the Vernon Hills Zoning Ordinance, said Planning and Zoning Commission has filed its report and recommendation concerning said petition referenced herein, attached hereto as Exhibit B; and

WHEREAS, based upon the application materials and testimony provided at said hearing, the Petitioners have entered into the record evidence and findings of fact that address the standards in Section 18.3 (Special Uses) and Section 21.5 (Variations) of the Zoning Ordinance; and

WHEREAS, the Village Board, having considered the Planning and Zoning Commission's report and recommendation at its Committee of the Whole meeting on February 6, 2024, found that sufficient facts were presented which, in its judgment, would justify approving an amendment to Ordinance 2013-013; authorizing site plan, landscape plan and architectural plan approvals related to the development of the subject outlot; and approving an amendment to Ordinance 2013-014, authorizing revisions to a Special Use Permit granting approval of a restaurant with outdoor dining, authorizing certain variations related to the Zoning Ordinance and Sign Code. The Village Board also found that sufficient facts were presented which, in its judgment, would justify approval of certain variations related to the Building Code.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, COUNTY OF LAKE AND STATE OF ILLINOIS:

SECTION 1. INCORPORATION. The above listed recitals are incorporated into and made part of this Ordinance.

SECTION 2. SPECIAL USE AMENDMENT The Special Use Permit granting a Planned Unit Development for Hawthorn Mall, documented as Ordinance No. 2013-014, as amended, on the property legally described in **Exhibit A**, is hereby amended to allow the development of a restaurant with outdoor dining, pursuant to Appendix C, Zoning, of the Vernon Hills Code, as described in the application by Centennial Real Estate, dated January 10, 2024, to be developed in accordance the plans and exhibits referenced in Section 3 of this Ordinance, to be located at 950 N. Milwaukee Avenue.

SECTION 3. PLANS AND EXHIBITS The Site Plan, Architectural Plans, and Landscape Plans associated with the Hawthorn Mall PUD, documented as Ordinance No. 2013-013, as amended, on the property legally described in **Exhibit A**, are hereby amended to incorporate a restaurant with outdoor dining, as described in the application by Centennial Real Estate, dated January 10, 2024, and to be developed in accordance with the following plans and exhibits, attached hereto as **Exhibit C**:

- Project narrative by Consolidated Development Services (CDS), dated December 4, 2023
- Color Building Elevations and Exterior Material Legend by DP3 Architects, dated December 15, 2023 (5 pages)
- Preliminary engineering drawings (including landscape plan and photometrics), by Kimley Horn, dated December 1, 2023 (21 pages)
- Site plan, by Kimley Horn, last revised February 9, 2024
- Proposed plant palette, received January 31, 2024
- Sign package by Sight Enhancement Services, received January 30, 2024

SECTION 4. VARIATIONS The Site Plan, Architectural Plan, and Landscape Plan approval granted in Section 3 of this Ordinance are supported by variations from the Zoning Code previously incorporated in the PUD. The following additional variations from the Zoning Code, Sign Code and Building Code are hereby approved, as illustrated on the plans and exhibits attached hereto as **Exhibit C**:

Building Code (Chapter 5)

1. Section 5-78 (Special Architectural Provisions) to permit materials not explicitly listed as approved exterior building materials;

Sign Code (Chapter 19)

1. Section 19-3c(6b), to waive the 50 percent reduction for signs on additional frontages in order to exceed the maximum permitted wall sign area, allowing the oval identification signs and beer garden tagline signs as follows:
 - West elevation: 42.0 sq ft maximum, 87.6 sq ft proposed;
 - South elevation: 57.0 sq ft maximum, 69.0 sq ft proposed;
 - East elevation: 42.0 sq ft maximum, 58.8 sq ft proposed;

2. Section 19-3 (7b), to permit a ground mounted sign for a business that does not have driveway access on a dedicated street frontage; and
3. Section 19-3 (6c), to permit a ground mounted sign with a total area of 84.29 sq ft (50.0 sq ft permitted)

Zoning Code (Appendix C)

1. Section 13.6.1, to reduce the required front setback from 60.0 ft to 41.1 ft
2. Section 13.6.2, to reduce the required side setback (south) from 35.0 ft to 14.2 ft
3. Section 13.6.4, to reduce the required landscape buffer from 11.82 ft (previously reduced per Ord. 2020-017) to 6.0 ft.

SECTION 5. CONDITIONS The Site Plan, Architectural Plan, and Landscape Plan approvals granted in Section 3 of this Ordinance are subject to the following conditions:

1. The final grading and landscape plans for the development, including retaining walls (if any), shall incorporate the plant palette received January 31, 2024, and be subject to review and approval by the Village Engineer, in particular to ensure adequate winter coverage.
2. If decorative grasses are used to screen the parking lot, they shall be cut back in the spring, rather than the fall, to provide improved headlight coverage through the fall and winter.
3. A cap shall be added to the trash enclosure and storage screen wall, and materials kept within area shall not exceed the height of the wall.
4. As the walk-in cooler extends above the height of the screen wall, the exterior appearance shall be modified if needed to blend with the screen wall or building wall.
5. The petitioner (mall owner) shall ensure that there is adequate signage directing visitors to and from shared parking off of the subject parcel, with pedestrian facilities generally consistent with the pedestrian master plan for the mall campus.
6. There shall be cross-parking among the lots under control by the mall owner prior to transfer to other entities.
7. The beer garden access shall be constructed as illustrated on the revised site plan, dated February 9, 2024, removing the additional east-west walkway that appears on other plans.

SECTION 6. Those elements of Ordinances 2013-013 and 2013-014, and subsequent amendments thereto, not explicitly amended by this Ordinance are hereby reaffirmed.

SECTION 7. SEVERABILITY. In the event that any section, clause, provision, or part of this Ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect. If any part of this Ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

SECTION 8. REPEAL AND SAVINGS CLAUSE. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this Ordinance.

SECTION 9. SUCCESSORS AND ASSIGNS. All of the provisions of this Ordinance and the attachments hereto, which are incorporated herein by reference, are binding on all successors and assigns of the Petitioners and the owners of the property legally described herein.

SECTION 10. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION 11. ORDINANCE NUMBER. This Ordinance shall be known as Ordinance Number 2024-021.

Adopted by roll call vote as follows:

AYES: 6 – Takaoka, Oppenheim, Forster, Marquardt, Koch, Byrne

NAYS: 0 - None

ABSENT AND NOT VOTING: 1 – Schenk



Roger L. Byrne, Village President

PASSED: 02/20/2024

APPROVED: 02/20/2024

ATTEST: 02/20/2024


Kevin Timony, Village Clerk

EXHIBIT A

Legal Description – 950 N. Milwaukee Avenue

SUBJECT PROPERTY FUTURE LEGAL DESCRIPTION (PENDING RECORDING, APPROVED AS AMENDED THROUGH ORDINANCE 2023-085):

LOT 3 OF HAWTHORN CENTER RESUBDIVISION NO. 1, BEING A SUBDIVISION OF PART OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

PIN(S): 11-33-401-096, 11-33-401-099, 11-33-401-102

CURRENT LEGAL DESCRIPTION:

BEGINNING AT THE EASTERN MOST CORNER OF SAID LOT 3; THENCE SOUTH 52 DEGREES 01 MINUTE 29 SECONDS WEST, 41.78 FEET; THENCE SOUTH 86 DEGREES 03 MINUTES 20 SECONDS WEST, 166.95 FEET; THENCE NORTH 77 DEGREES 45 MINUTES 48 SECONDS WEST, 54.03 FEET TO A LINE PARALLEL WITH AND 55.50 FEET EAST OF, AS MEASURED AT RIGHT ANGLES TO, THE EAST LINE OF HAWTHORN RESUBDIVISION NO. 3, DOCUMENT NUMBER 7798889; THENCE NORTH 03 DEGREES 59 MINUTES 30 SECONDS WEST ALONG SAID PARALLEL LINE, 360.91 FEET; THENCE NORTH 86 DEGREES 00 MINUTES 30 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 38.50 FEET; THENCE SOUTH 03 DEGREES 59 MINUTES 30 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 39.00 FEET; THENCE NORTH 86 DEGREES 00 MINUTES 30 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 167.72 FEET; THENCE NORTH 03 DEGREES 59 MINUTES 30 SECONDS WEST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 6.95 FEET; THENCE NORTH 86 DEGREES 00 MINUTES 30 SECONDS EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 36.65 FEET TO THE EAST LINE OF HAWTHORN CENTER PER DOCUMENT 1866654 AND ALSO BEING THE WEST LINE OF ILLINOIS STATE ROUTE 21 (A.K.A. SOUTH MILWAUKEE AVENUE); THENCE SOUTH 03 DEGREES 59 MINUTES 30 SECONDS EAST ALONG SAID EAST LINE, 76.98 FEET; THENCE SOUTH 06 DEGREES 28 MINUTES 52 SECONDS EAST ALONG SAID EAST LINE, 243.99 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

EXHIBIT B

Planning and Zoning Commission Report

Yard House Restaurant, 950 N. Milwaukee Avenue

Planning and Zoning Commission – Meeting Minutes
January 31, 2024 - 7:30 p.m.

I. Call to Order and Roll Call

Chairman Morris called the meeting to order at 7:30 PM.

Attendance: Chairman Morris, and Commissioners Cotton, Fluno, Heidner, Lis, Nabat, and Smith were present.

Also attending: Andrew Jennings, Director of Community Development.

II. General Public Comment

No one from the public came forward to speak.

III. Items for Review

Chairman Morris called for the opening of the following public hearing:

1. Public Hearing for Case #2024-02, A petition filed by Centennial Real Estate, property owner, requesting amendments to Ordinances 2013-013- and 2013-014 (as previously amended) to revise the Hawthorn Mall PUD to facilitate the construction of a restaurant with outdoor dining on an outlot commonly known as 950 N. Milwaukee Avenue, in accordance with Appendix C, Zoning, of the Village of Vernon Hills Code of Ordinances, Section 4.12, Section 13.3, Article 18, Section 21.5 and 21.6, and Chapter 19, Sign Code, Section 19.3.

Subject Property: 950 N. Milwaukee Avenue, zoned B-1, General Business District

ALL PERSONS PROVIDING TESTIMONY WERE SWORN IN

The following representatives of the project team were sworn in: Ryan Martin (Kimley-Horn, project engineer), Katie Peel (SES Branding, sign designer), Joe Mayer (Kimley-Horn, project engineer), Sam Whitebread (Centennial Real Estate, mall owner and petitioner).

Director Jennings provided an introduction of the background of the petition. The petitioner had originally presented the concept plan to the Committee of the Whole (COW) in September and the project has been in Technical Review since that time. The COW review was positive, but they asked the petitioner to pay attention to the visual character at the southeast and southwest corners.

He explained that a significant amount of time during Technical Review was spent on issues related to the change in elevation across the site, and the landscaping was not as detailed as the Commission would typically see. A representative palette has been submitted, but specific plants are not identified on the plan.

The request for the Commission's review is an amendment to the Hawthorn Mall PUD ordinances. Perry's Steakhouse, reviewed late last year, was a similar request. One ordinance covers the plans and the other addresses variations. He noted that the supplemental packet provided at the meeting includes an updated motions referencing the plant palette and signage.

Mr. Martin introduced the project team and referred to an aerial photo showing the location of the site with respect to the mall and Perry's Steakhouse. He showed the overall plan of the three outlots on Milwaukee, noting that the building shown on the center lot is conceptual.

He referred to the site plan slide, and stated that the site is approximately two acres. The building would be at the southeast corner, with an outdoor patio to the west. There is an open space along the mall drive to transition to Hawthorn Row. Referring to the landscaping plan, he explained that there would be parking lot island landscaping, foundation plantings, and plantings along the street. He displayed the plant palette and noted that the detailed landscape plan had been completed earlier that day.

Mr. Mayer referred to the architectural plans for the building. The floor plan is typical for Yard House. The back of house functions would be on the east side with a large dining area and central bar. There would be a three-season enclosed patio and an open beer garden on the west side.

He displayed the elevations of the building and explained that Yard House is an established brand. There are several in the Chicago area. With this building they want to be consistent with the appearance of Hawthorn Row. He provided the material sample board to the Commission. The east elevation facing Milwaukee has a stepped effect with the service area at a lower height. The south elevation along the entrance drive has a lot of the same materials as the main entrance since all four sides are visible.

Ms. Peel introduced the sign package. She reviewed the north elevation signage, which includes the main oval identification sign above the entrance. The same sign would face Milwaukee, the entrance drive, and the beer garden (west). Variations are needed for the signs on the east, south, and west. She displayed the west elevation and explained that the additional beer garden taglines are intended to add to the atmosphere and let the public know what the restaurant offers. She displayed the monument sign and explained that requires a variation as well since the lot doesn't have direct public street access. She noted that the staff report says that a similar variation was granted for Perry's.

Commissioner Cotton asked for a discussion of the signage. She reviewed Yard House signage online and found some had additional verbiage around the oval and some didn't. She did not see the necessity of the words around the oval also displayed on the beer garden facade. In response, Ms. Peel said that it was possible to change the oval sign to only display "Yard House." They believe the taglines on the beer garden are in a different viewing plane. The letters are smaller and not illuminated and are intended to enhance the character of the beer garden area. Commissioner Cotton preferred the oval sign as shown; the taglines are a second sign on the same elevation.

Commissioner Fluno asked why the petitioner felt the monument sign was necessary. It appears to be taking away parking. Ms. Peel responded that it is within a landscaped island and hopefully not taking away too much parking, and they believe it provides advanced notice to southbound drivers to make the turn.

Commissioner Cotton requested clarification of the monument sign location, and whether it was near the turn. Ms. Peel stated that the larger shared mall sign is at the corner. The Yard House sign would be farther north.

Commissioner Fluno questioned whether southbound drivers would be able to see the building signage, and noted most drivers use GPS. Ms. Peel noted that the north elevation signage is at the west side of the building above the main entrance. She said that GPS doesn't always direct drivers to the exact location of the entrance.

Chairman Morris requested the difference in elevation between the sign and the street. Mr. Martin replied that it is roughly 3 ft above the sidewalk. Chairman Morris believed that the sign would be blocked by the landscaping and questioned the necessity of the sign. Ms. Peel noted that the sign has a brick base.

Chairman Morris asked what the petitioner intended to include in that area as the final landscape plan is developed. Mr. Martin stated that there would be shrubs, but that they could consider different plants near the sign.

Commissioner Fluno noted that a vehicle in the stall to the north would also block the sign. Chairman Morris asked how the petitioner proposed to get the signage, headlight screening, grading, and parking lot to all work as one package. Mr. Martin responded that they could consider increasing the area of the island.

Commissioner Fluno asked if the petitioner had a section view showing the retaining wall in that area. Mr. Martin explained that they have been working with staff to remove the wall. There is a significant decrease in elevation from west to east, so to keep the parking lot as flat as possible they have a steeper slope between the parking lot and sidewalk. The compromise is to have a nine inch (9.0") finished edge on the back of the east curb.

Commissioner Fluno asked whether the slope would hold mulch and soil. Mr. Martin replied that the plantings were intended to stabilize the soil. The parking lot would drain west so the area would only need to drain the direct rainfall. Director Jennings referred the Technical Review comments by Public Works, and explained that since the Village clears snow from the Milwaukee sidewalks, they prefer a design without a wall to keep the area more open.

Commissioner Smith asked whether the mall owner would consider temporary parking in the lot to the north to address overflow parking concerns. Mr. Martin said that there was some interest in the middle lot and was unsure if the mall would consider a temporary configuration. Mr. Martin noted that they are meeting the minimum parking requirement of the PUD and there are

shared facilities around the mall campus. Commissioner Smith asked how they intended to direct people to those areas. Mr. Martin replied that they haven't developed signage yet but would agree to work with staff.

Commissioner Smith referred to anticipated pedestrian traffic at the development and suggested that they consider how to funnel people to the crosswalks.

Commissioner Cotton asked whether they had considered requiring staff to park remotely to make more spaces available to customers. Mr. Whitebread agreed that was an option, and referred to the site plan to illustrate the location of the shared garage entrance and a lot across from Perry's Steakhouse.

Commissioner Cotton noted that the site plan doesn't have much space for snow storage. Mr. Whitebread replied that heavier snow events they would need to shuttle snow to empty areas on the campus.

Director Jennings referred to the staff comments regarding the PUD parking ratio. He explained that the PUD parking ratio may be obsolete; it was approved with the assumption of large shared lots around the mall with different users peaking at different times. The more recent development is occurring in the outlots; they function more stand-alone developments and remove parts of the shared parking field. Distribution of parking needs to be considered.

Commissioner Fluno asked whether staff was satisfied that the parking would be adequate and Director Jennings confirmed that he was.

Chairman Morris voiced a concern with access to the parking. Suburban customers would prefer more visibility of the additional parking.

Commissioner Heidner concurred with Chairman Morris and asked the petitioner about the parking available at other Yard House locations. Mr. Whitebread explained that there was interest in the middle lot, and that it was likely a breakfast restaurant would take the building so that the parking would be available in the evenings.

Mr. Mayer stated that the Lombard location had a similar configuration with shared parking. Chairman Morris disagreed and stated that the shared parking was in a surface lot.

Commissioner Nabat asked for a comparison with the parking for Lazy Dog at Melody farm. Director Jennings was not sure. Commissioner Nabat reiterated that the concern on parking is due to the Commission's assumption that the restaurant would do well in this location. Everyone is excited for the restaurant and just concerned about how it will work.

Commissioner Fluno asked for a discussion of the pedestrian access to the west. There is a walkway along the parking lot that connects from the main entrance to the mall drive sidewalk, and then a second walkway to the south that connects to the patio. He asked whether they could landscape that area to discourage pedestrians from cutting through. Mr. Whitebread explained

that the intention was to promote symmetry with Hawthorn Row through active use of the green space.

Chairman Morris referred to the site plan with seating, and noted that the host stand would be located near the other entrance. Mr. Whitebread explained that the fully outdoor part of the patio would not be open all year.

Commissioner Cotton asked whether the space would be fully enclosed with a fence; it was difficult to tell from the elevation view. Mr. Mayer explained that there is a three-season area with a roof that they call the patio and a fully open area they call the lawn. There is a fence enclosing the outdoor dining area.

Commissioner Smith referred to the site plan. He is concerned that the westernmost parking spot backs out too close to the main entrance drive.

Commissioner Heidner asked whether the plan accurately illustrated the patio layout. Mr. Mayer explained that the tables would not be blocking the gates as shown. The seating plan hadn't been updated to match the site plan.

Commissioner Fluno requested discussion of the landscaping. Director Jennings explained that the representative palette was submitted after technical review. The condition of approval in the draft motion was meant to ensure a more thorough review of the final plan. Commissioner Fluno was concerned that some areas might be bare in the winter. Director Jennings suggested updating the condition of approval to specifically refer to winter interest.

Commissioner Heidner referred to the materials proposed for the trash enclosure and storage area screen wall. Mr. Mayer confirmed that the trash enclosure materials were different than the white brick for the beer garden. Director Jennings noted that the staff report questioned the material of the walk-in freezer. The elevations don't provide a detail of the finish. It should be a material to complement the building since it is above the screen wall. Mr. Mayer agreed that they would look into it.

Commissioner Fluno referred to the east elevation. He noted that the trash enclosure and storage area screen wall was plain and appears to be missing a cap or a shadow line. Mr. Martin agreed that they could add a cap. Commissioner Fluno asked if they would consider ivy. Mr. Martin stated that they would prefer to keep the plantings along the foundation for maintenance reasons.

Chairman Morris asked the petitioner to display the line of sight drawings for the rooftop mechanicals. Mr. Martin reviewed the drawings and explained that the parapet screens the mechanical units.

Commissioner Lis asked for a discussion of the parking lot configuration. She noted that the parking lot aisles run parallel to the main entrance; this configuration is less safe than perpendicular drive aisles because pedestrians will have to walk between parked cars. Mr.

Martin agreed, but explained that they had to rotate the lot to maximize the total parking count. The loss of stalls was too great.

Chairman Morris noted that the entrance drive location on the site plan appears to differ from the seating plan. The seating plan doesn't have an entrance drive near the front of the building like the site plan. Mr. Martin said the site plan is more current; the entrance was shifted to align with the south aisle in response to the fire district review.

Commissioner Heidner asked whether they could spread the grade difference across a larger area. Mr. Martin replied that it would need to comply with the ADA.

PUBLIC NOTICE

Chairman Morris asked Director Jennings for confirmation of the public notice. Director Jennings confirmed that the hearing was properly noticed and no responses were received. He added that the dates for the public notice are now included in the staff report. The legal notice was published January 16th, the letters were mailed on the 12th, and the sign was posted on the 15th. Commissioner Heidner asked whether notices were provided to tenants. Director Jennings noted that they could see the public hearing sign but no notice was provided to the residential tenants. Notice is provided to owners, and in some cases a courtesy notice has been provided to adjacent commercial tenants.

STANDARDS FOR A SPECIAL USE AND VARIATION

Chairman Morris noted that petitioner's responses to the Standards of Section 18.3 and Section 21.5 were included in the staff report, and would be part of the record for the Commission's recommendation if there was no objection.

THE HEARING WAS OPENED FOR PUBLIC COMMENT

No one from the public spoke. Public comment was closed by Chairman Morris at 8:33 PM.

DISCUSSION OF RECOMMENDATION

Chairman Morris requested additional comments and questions from the Commission.

Commissioner Heidner did not believe that there was a need for additional signage. The site has too much signage. There is no need for signage other than the identification signs on the building. The business should advertise; not use the building to advertise.

Commissioner Fluno preferred the signage proposed on the building to the monument sign.

Commissioner Cotton did not believe that the taglines or the monument sign were necessary. She suggested separating the signage from the variation motion.

Mr. Whitebread requested consideration for matching the monument sign with Perry's. Commissioner Heidner noted that monument signs are frequently blocked by plantings and become useless. It's destination and not reliant on drive-by traffic.

Director Jennings reviewed options for the signage. The signs are currently part of the draft variation motion. They can be separated from that motion, and then the petitioner could have the option take the recommendation, whether positive or negative, to the Board. The alternatives would be to leave the public hearing open and continue it just for the purpose of additional sign discussion or to have the sign return later on if needed.

Chairman Morris noted that the sign variations could be split up into wall sign and monument sign variations, and the oval wall sign should be permitted without a variation on each elevation. Director Jennings explained that it would need a very small variation on the two smaller elevations (east and west). Chairman Morris suggested dividing the motions into one for the oval sign, one for the taglines, and one for the monument signs.

Commissioner Cotton asked the Commission to consider recent petitions, such as Taco Bell and McDonalds, which were not allowed a second sign on an elevation.

Chairman Morris stated there is a standing motion to approve, and referred to the draft motion in the revised/supplemental packet to amend the Hawthorn Mall PUD to include the plans associated with the proposed restaurant.

Director Jennings reviewed the conditions of approval from the Staff report and the updates discussed during the hearing. Commissioner Heidner requested clarification of the condition relating to landscaping. Mr. Martin confirmed that they would use a combination of shrubs and decorative grasses.

Commissioner Heidner requested clarification of the condition referring to the screen wall. Director Jennings explained that the petitioner was still unsure of the appearance of the walk-in cooler. The condition would ensure that the appearance would match the building, possibly with another material wrapping the cooler.

Commissioner Smith referred to the beer garden walkway and the overall plan for pedestrian safety. Director Jennings paraphrased the petitioner's response from earlier in the hearing, that the space is intended to be open and connect to the west. He did not believe that there was a consensus on how to address the topic in the recommendation.

Commissioner Fluno questioned why the space would be divided with a walkway if it is supposed to related to open space in Hawthorn Row. He also questioned why pedestrians would be directed away from the crosswalk.

Director Jennings asked the petitioner to explain the host stand location. Mr. Mayer explained that the restaurant would still have customers check in inside, but they want the ability to have people enter through the patio.

Commissioner Lis noted the grade difference across the lawn area. Mr. Mayer confirmed that the pipes shown on the plan were to direct drainage away from the building and that there would

be a few steps in the walkway. It is not meant to be ADA accessible; just convenient access west.

Chairman Morris suggested incorporating the walkway with the overall campus pedestrian plan. Commissioner Fluno thought that if the walkway is needed, it should connect directly with the crosswalk or run parallel to the fence. Chairman Morris suggested polling the Commission to provide a consensus for the record to pass along to the Board.

Chairman Morris requested an additional condition of approval requiring cross-parking among the various lots. Chairman Morris confirmed that discussion had concluded and requested a second on the motion. Commissioner Nabat seconded the motion.

Commissioner Heidner was not comfortable with the overall plan in light of the discussion of comparison of the parking at Lazy Dog, the lack of a review of the landscaping, and excessive signage.

Commissioner Nabat referred to her previous experience with a restaurant business. She felt that customers would adjust and do what they need to do to go to a restaurant. She did not think it would be as congested as Melody Farm. The retail stores there share the same lot so she believes the parking for Yard House will be sufficient.

Commissioner Cotton understood the point, but she is concerned because people prefer not to walk.

Commissioner Fluno asked for the projected timeline of the center lot. Mr. Whitebread stated that the interested business is trailing by several months.

Commissioner Nabat referred to the parking configuration in Glenview. There is street parking and then the shared Von Muir lot, and the restaurant does well.

Commissioner Smith thought the site was efficient as it could possibly be. Between the setback variation, rotated drive aisles, and slope on the east side, there is nothing left to cut. He thought that any potential user for this site would have the same issues.

There being no additional discussion, the Commission voted on the motion, as follows:

Make Findings of Fact and Recommend Approval to Amend Ordinance No. 2013-13, as amended, to revise the site plan, landscape plan, and architectural plans associated with the Hawthorn Mall PUD to facilitate the construction of a restaurant with outdoor dining, for the property located at 950 Milwaukee Avenue, Vernon Hills, Illinois, as required by Section 13.3 (Special Uses in the B-1 District), and Section 4.12 (Site Plan Review), as described in the application by Centennial Real Estate, dated January 11, 2024, as illustrated on the following exhibits:

- Project narrative by Consolidated Development Services (CDS), dated December 4, 2023
- Color Building Elevations and Exterior Material Legend by DP3 Architects, dated December 15, 2023 (5 pages)

- Preliminary engineering drawings (including landscape plan and photometrics), by Kimley Horn, dated December 1, 2023 (22 pages)
- Proposed plant palette, received January 31, 2024

And with the following conditions of approval:

1. The final grading and landscape plans for the development, including retaining walls (if any), shall incorporate the plant palette received January 31, 2024, and be subject to review and approval by the Village Engineer, in particular to ensure adequate winter coverage.
2. If decorative grasses are used to screen the parking lot, they shall be cut back in the spring, rather than the fall, to provide improved headlight coverage through the fall and winter.
3. A cap shall be added to the trash enclosure and storage screen wall, and materials kept within area shall not exceed the height of the wall.
4. As the walk-in cooler extends above the height of the screen wall, the exterior appearance shall be modified if needed to blend with the screen wall or building wall.
5. The petitioner (mall owner) shall ensure that there is adequate signage directing visitors to and from shared parking off of the subject parcel, with pedestrian facilities generally consistent with the pedestrian master plan for the mall campus.
6. There shall be cross-parking among the lots under control by the mall owner prior to transfer to other entities.

AYES: Cotton, Fluno, Lis, Nabat, Smith, Morris

NAYS: Heidner

ABSENT: none

Motion approved (6-1).

Chairman Morris referred to the standing motion to recommend approval to amend the Hawthorn Mall PUD to include the zoning variations associated with the proposed restaurant. Commissioner Fluno seconded the motion.

Commissioner Heidner asked whether the building was comparable in height to Perry's. Director Jennings thought it may be slightly shorter. The project team was not sure.

There being no additional discussion, the Commission voted on the motion, as follows:

Make Findings of Fact and Recommend Approval to Amend Ordinance No. 2013-014, as amended, to revise the Special Use Permit for the Hawthorn Mall Planned Unit Development, for the property located at 950 Milwaukee Avenue, Vernon Hills, Illinois, as required by Section 13.3 (Special Uses in the B-1 District), as described in the application by Centennial Real Estate, dated January 11, 2024, to incorporate the following additional variations:

Zoning Code Variations

- a. Section 13.6.1, to reduce the required front setback from 60.0 ft to 41.1 ft
- b. Section 13.6.2, to reduce the required side setback from 35.0 ft to 14.2 ft

- c. Section 13.6.4, to reduce the required landscape buffer from 11.82 ft (reduced per Ord. 2020-017) to 6.0 ft

As illustrated on the following exhibits:

- Color Building Elevations and Exterior Material Legend by DP3 Architects, dated December 15, 2023 (5 pages)
- Preliminary engineering drawings (including landscape plan and photometrics), by Kimley Horn, dated December 1, 2023 (22 pages)

AYES: Cotton, Fluno, Lis, Nabat, Smith, Morris

NAYS: Heidner

ABSENT: none

Motion approved (6-1).

Chairman Morris referred to the standing motion to recommend approval, and reviewed the decision to separate the sign variation votes into three motions: (a) the primary oval wall sign; (b) the tagline signage on the beer garden area; and (c) the variations related to the monument sign.

Commissioner Cotton seconded the following motion:

Make Findings of Fact and Recommend Approval to Amend Ordinance No. 2013-014, as amended, to revise the Special Use Permit for the Hawthorn Mall Planned Unit Development, for the property located at 950 Milwaukee Avenue, Vernon Hills, Illinois, as required by Section 13.3 (Special Uses in the B-1 District), as described in the application by Centennial Real Estate, dated January 11, 2024, and sign package by Sight Enhancement Services, received January 30, 2024, to incorporate the following additional variations:

- a. Section 19.3c(6)b, to waive the 50 percent reduction for signs on additional frontages in order to permit the primary oval identification sign to exceed the maximum allowable sign area as follows:
- East elevation: 42.0 sq ft maximum, 58.8 sq ft proposed;
 - West elevation: 42.0 sq ft maximum, 58.8 sq ft proposed;
 - South elevation: 57.0 sq ft maximum, 58.8 sq ft proposed;

AYES: Cotton, Fluno, Heidner, Lis, Nabat, Smith, Morris

NAYS: none

ABSENT: none

Motion approved (7-0).

Commissioner Cotton seconded the following motion:

Make Findings of Fact and Recommend Approval to Amend Ordinance No. 2013-014, as amended, to revise the Special Use Permit for the Hawthorn Mall Planned Unit Development, for the property located at 950 Milwaukee Avenue, Vernon Hills, Illinois, as required by Section 13.3 (Special Uses in the B-1 District), as described in the application by Centennial Real Estate, dated January 11, 2024, and sign package by Sight Enhancement Services, received January 30, 2024, to incorporate the following additional variations:

- a. Section 19.3c(6)b, to waive the 50 percent reduction for signs on additional frontages in order to further exceed the maximum permitted wall sign area to allow the beer garden tagline signs as follows:
 - West elevation: 42.0 sq ft maximum, 87.6 sq ft proposed;
 - South elevation: 57.0 sq ft maximum, 69.0 sq ft proposed;

AYES: Fluno, Lis, Nabat, Smith, Morris

NAYS: Cotton, Heidner

ABSENT: none

Motion approved (5-2).

Commissioner Smith seconded the motion pertaining to the variations for the monument sign. Commissioner Heidner did not believe that the sign was necessary, and that it would be rapidly blocked by the landscaping.

Commissioner Nabat questioned whether the variation had been granted for Perry's. Director Jennings confirmed that Perry's was granted a variation to permit a monument sign on a lot lacking direct street access. Taco Bell had an existing sign. Melody Farm had a total sign package with a large shared monument sign added later.

Commissioner Cotton asked whether the sign area calculation includes the based. Director Jennings confirmed that it does. There being no additional discussion, Chairman Morris requested a vote on the following motion:

Make Findings of Fact and Recommend Approval to Amend Ordinance No. 2013-014, as amended, to revise the Special Use Permit for the Hawthorn Mall Planned Unit Development, for the property located at 950 Milwaukee Avenue, Vernon Hills, Illinois, as required by Section 13.3 (Special Uses in the B-1 District), as described in the application by Centennial Real Estate, dated January 11, 2024, and sign package by Sight Enhancement Services, received January 30, 2024, to incorporate the following additional variations:

- a. Section 19-3 (7b), to permit a ground mounted sign for a business that does not have driveway access on a dedicated street frontage.
- b. Section 19-3 (6c), to permit a ground mounted sign with a total area of 84.29 sq ft (50.0 sq ft permitted)

AYES: Cotton, Lis, Nabat, Smith

NAYS: Cotton, Fluno, Morris

ABSENT: none

Motion approved (4-3).

Chairman Morris requested a poll to provide the Board the consensus of the Commission with respect to the walkway bisecting the open lawn area: (a) as shown; (b) reconfigured; or (c) remove from plans.

Commissioner Smith suggested that the pedestrian plan for the campus should guide the decision on the walkway.

Chairman Morris rephrased the poll: (a) as shown; (b) reconfigured to be consistent with the mall campus pedestrian plan; or (c) remove from plans.

Mr. Whitebread offered additional background on the walkway. When the Darden restaurant group original visited the mall and expressed interest in the lot, they were impressed with the concept for the new Hawthorn Row development connected with the main mall. They wanted a similar connection for the outlot. That led to mirroring the lawn space along Mall Drive. He agreed that perhaps there was room for improvement, but wanted the Commission to understand why it was on the plan.

Director Jennings indicated that he was comfortable conveying the sentiment of the Commission to improve pedestrian safety. He added that he would write it clearly into the staff memo explaining the Commission's recommendation to the Committee of the Whole.

Chairman Morris addressed the petitioner, explaining that the concerns expressed during the hearing come from excitement about the project. The restaurant is a welcome a valued addition to the community.

Director Jennings explained that due to the timing of upcoming Board meetings, he expected it would go to the Committee of the Whole next week (February 6th).

THE PUBLIC HEARING WAS CLOSED AT 9:12 PM.

IV. Approval of Minutes

Chairman Morris requested a review of the revisions to the draft minutes of the January 10th meeting prior to a vote. Director Jennings described corrections of typos, two statements by Chairman Morris incorrectly attributed to Commissioner Heidner, and the rephrasing of a sentence on p. 5 relating to the parking allocation at the subject property. Chairman Morris referred to the standing motion to approve the minutes of the January 10, 2024 Planning & Zoning Commission meeting. The motion was seconded by Commissioner Cotton. All were in favor by a voice vote (7-0).

V. Development Review

Director Jennings requested a poll on the availability of the Commission since there are two petitions in the queue for public hearings.

- February 21: 6 or 7 available, but very short window to publish
- February 28: 5 out of 7 likely available
- March 6: 6 or possibly 7 commissioners available

Commissioner Heidner requested a status update on PickleMall. Director Jennings said that the temporary Dick's Warehouse Outlet had closed but he has not seen a permit application yet.

VI. Adjournment

With no further items on the agenda, Chairman Morris made a motion to adjourn, seconded by Commission Cotton. The motion was approved by a voice vote.

The meeting adjourned at 9:18 PM.

Respectfully submitted,

Andrew Jennings
Director of Community Development

Distribution:
President and Board of Trustees
Village Manager/Village Clerk
Commission Members

March 6, 2024
Approval Date

Chairman Morris

Secretary Heidner

EXHIBIT C

Plans and Exhibits

Yard House Restaurant, 950 N. Milwaukee Avenue



December 4, 2023

Village of Vernon Hills
Community Development
290 Evergreen Drive
Vernon Hills, IL 60061
Phone: 847-918-3548

Project Narrative – Yard House

Dear Community Development Representatives:

Yard House restaurants are casual, full-service restaurants dedicated to providing an exceptional guest experience and superior product quality. With over 100 drafts on tap and a diverse menu inspired by California roots, every visit is a chance to experience something new.

The first Yard House restaurant opened in 1996 with a unique concept that could catch fire and revolutionize the restaurant industry. With the goal of creating the largest draft beer system on the planet, Yard House became one of Southern California's most popular spots to come together. With that much beer and the enormous selection, the draft beer system had to be a monster of a complex network with its heart in a two-story keg room. There were miles of beer lines that stretched from the keg room to the center island bar with an assembly of individual pumps circulating 2,000 gallons of coolant every hour to keep beer consistently fresh and perfectly chilled. When Yard House says "beer is in our roots", know that those roots run deep and they run real, real cold.

Subject to State and Village of Vernon Hills approvals, Darden Restaurants plans to construct a new building with code compliant parking and landscape amenities to be located at the NWC Hawthorn Row & N., Milwaukee Ave., Vernon Hills, IL.

The project data is as follows:

- Yard House intends the open space adjacent to the proposed outside patio (Beer Garden) to match what is currently under construction at Hawthorn Mall. Additionally, a landscaping barrier will be located around the Beer Garden adjacent to the open space.
- Building Size: ± 8,590 sq. ft. (including the 825 sq. ft. seasonal patio)
± 2,200 sq. ft. Beer Garden (outside patio)
- Total Seating: ± 370 seats (± 290 interior/seasonal patio and ± 80 outside patio)
- Dumpster Enclosure: the proposed building design and location include an encroachment of the dumpster enclosure into the building setback along N. Milwaukee Avenue. Yard House

respectfully asks for approval of this encroachment. Please note that the materials of the dumpster enclosure will be consistent with the restaurant's materials.

- Parking Spaces: 135 spaces proposed
 - Based on the PUD's flat ratio of 4.16 stalls per 1,000 sq. ft. of non-residential use, 35 spaces are required.

Operational Information:

- Hours of Operation:
 - Sunday through Thursday: 11:00 am to 11:00 pm
 - Friday and Saturday: 11:00 am to 12:00 am
- Number of Employees: ± 50 maximum per shift, with three often overlapping shifts which is a total of ±100 (Full and Part-time) employees.
- The anticipated weekly guest counts are projected to average 3,700 patrons.
- All deliveries and pick-ups are coordinated before 10am.
- Yard House typically has two (2) trash bins and recycles cardboard; pick up is approximately 4 times per week.
- Dumpster Enclosure: will be used for secure storage of empty keg racks, cleaning supplies and equipment, tools and misc. operational items. No food, beverages, or operating food service equipment will be located in that area.

Please feel free to contact me if you have any questions.

Sincerely,



Christie Schachter, Property Development Manager
CONSOLIDATED DEVELOPMENT SERVICES
Direct: 469.897.5912
Email: cschachter@cdsdevelopment.com



NORTH



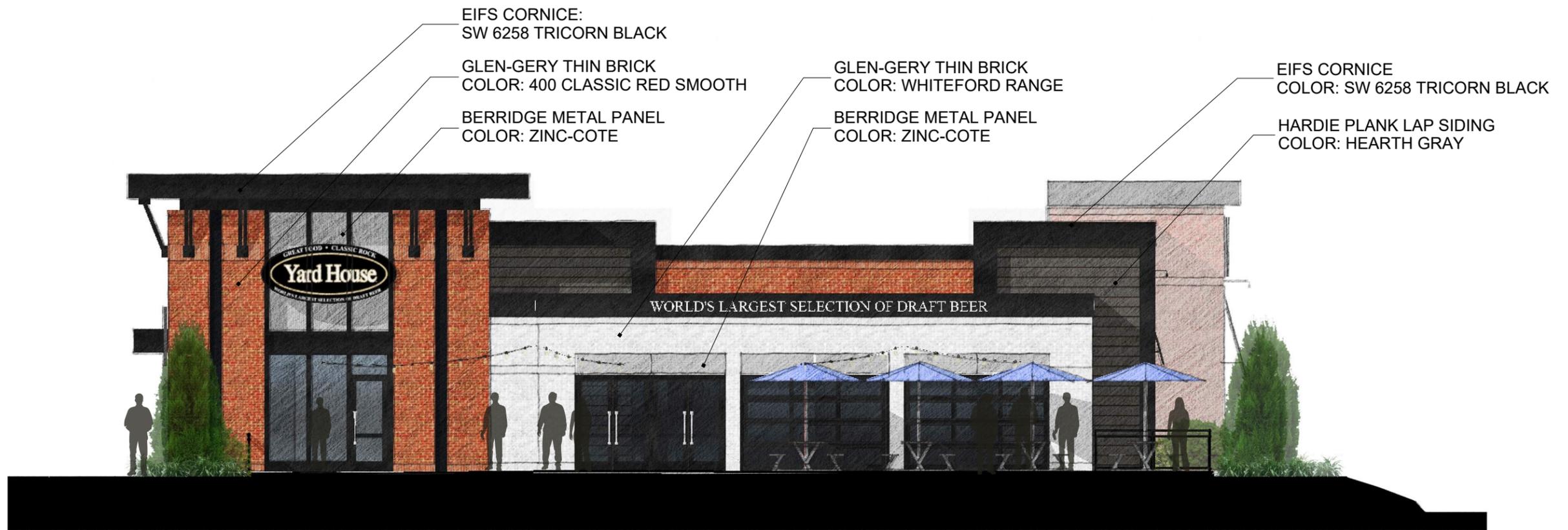
YARD HOUSE - VERNON HILLS

Scale: 1" = 10'-0"

15 Dec 2023

Sheet 1 of 5





WEST



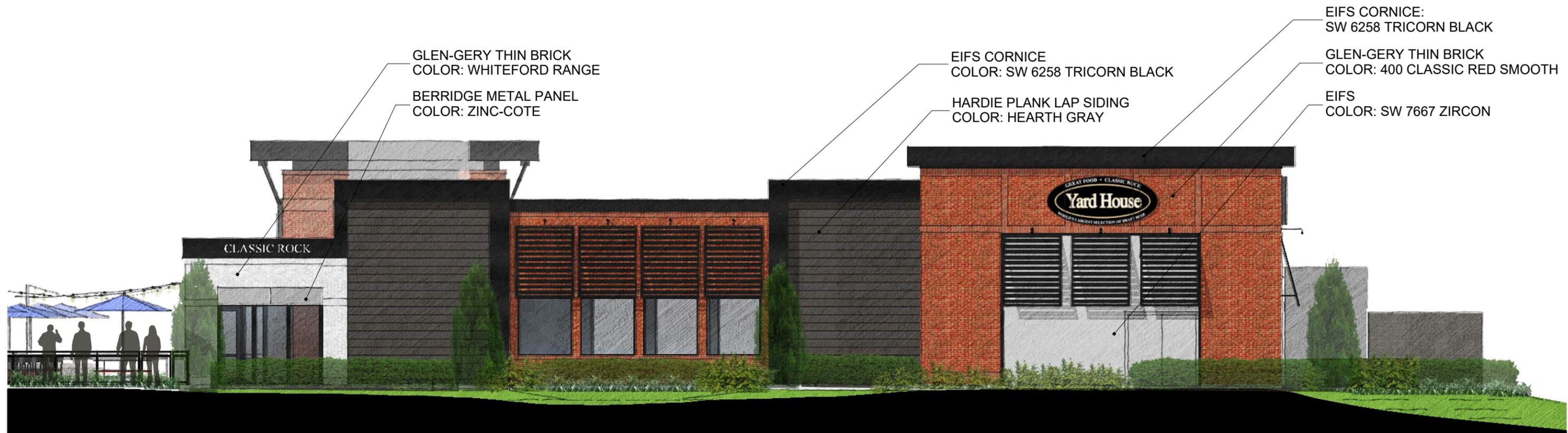
YARD HOUSE - VERNON HILLS

Scale: 1" = 10'-0"

15 Dec 2023

Sheet 2 of 5





SOUTH



YARD HOUSE - VERNON HILLS

Scale: 1" = 10'-0"

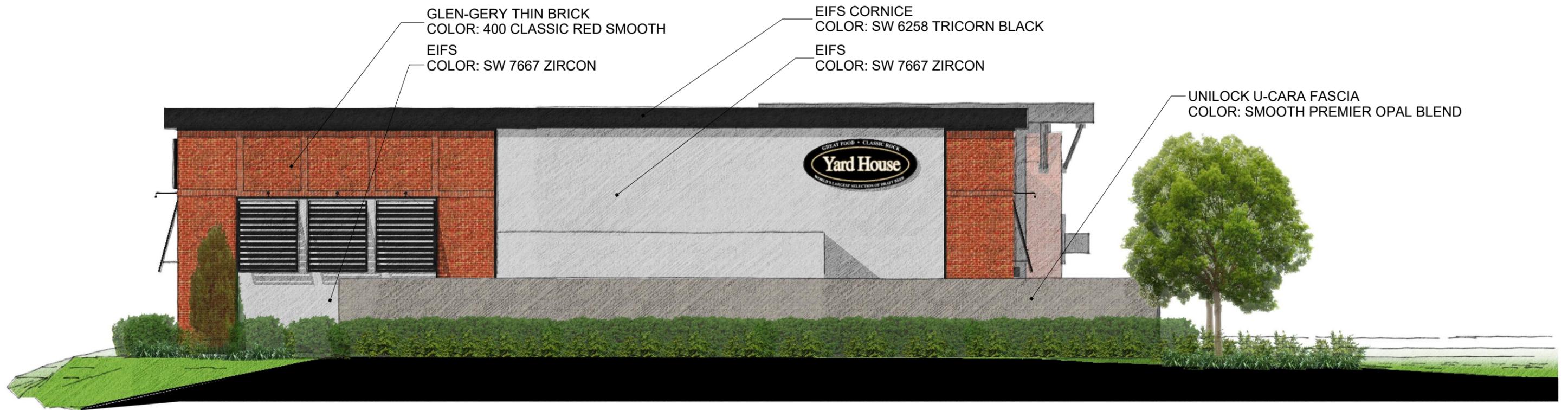
15 Dec 2023

Sheet 3 of 5



ARCHITECTS

People Places Purpose



GLEN-GERY THIN BRICK
 COLOR: 400 CLASSIC RED SMOOTH
 EIFS
 COLOR: SW 7667 ZIRCON

EIFS CORNICE
 COLOR: SW 6258 TRICORN BLACK
 EIFS
 COLOR: SW 7667 ZIRCON

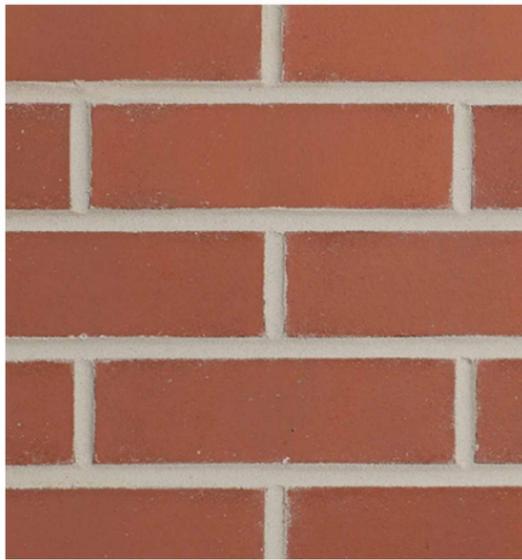
UNILOCK U-CARA FASCIA
 COLOR: SMOOTH PREMIER OPAL BLEND

EAST



YARD HOUSE - VERNON HILLS
 Scale: 1" = 10'-0"
 15 Dec 2023
 Sheet 4 of 5

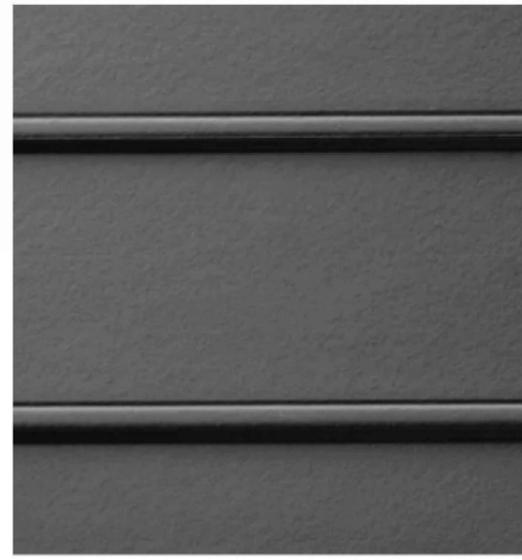




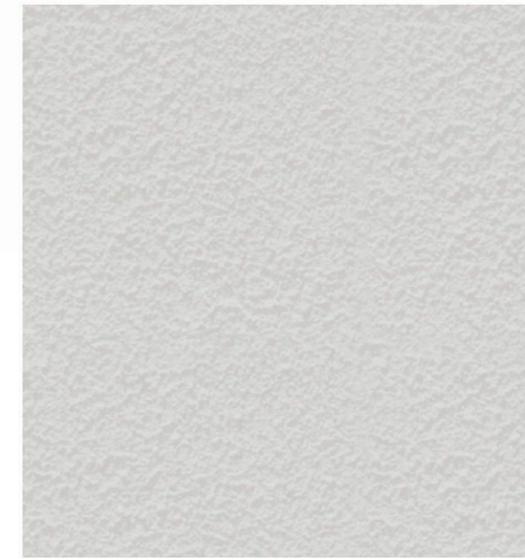
GLEN-GERY THIN BRICK VENEER
COLOR: 400 RED CLASSIC SMOOTH



GLEN-GERY THIN BRICK VENEER
COLOR: WHITEFORD RANGE



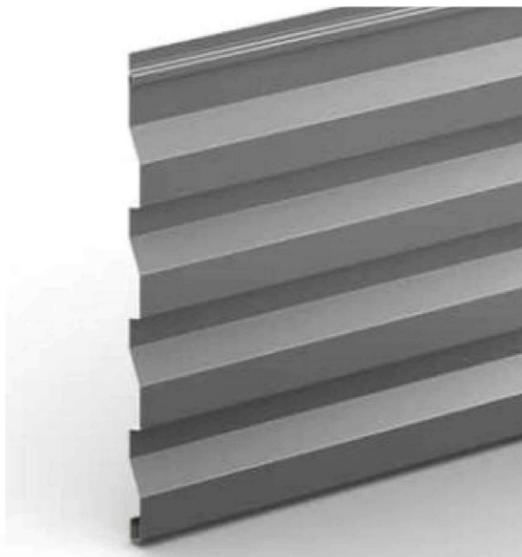
HARDIE PLANK LAP SIDING
COLOR: BEADED SMOOTH HEARTH GRAY



STOTHERM CI CLASSIC (MEDIUM) EIFS
COLOR: SW 7667 ZIRCON



STOSIGNATURE STONE 10 (LIMESTONE)
COLOR: SW 6258 TRICORN BLACK



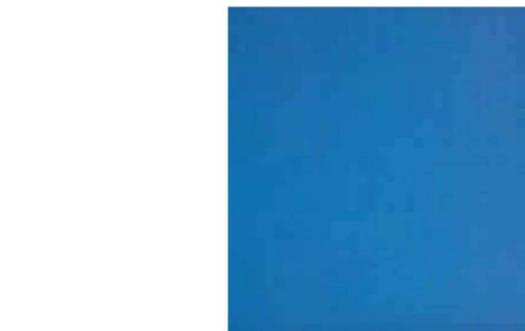
BERRIDGE HR-16 METAL PANEL
COLOR: ZINC-COTE



UNILOCK U-CARA FASCIA
COLOR: SMOOTH PREMIER OPAL BLEND



ANODIZED DARK BRONZE STOREFRONT
WITH SOLARBAN90 CLEAR GLAZING



POGESSI UMBRELLA
COLOR: CAPRI



YARD HOUSE - VERNON HILLS

Scale: 1" = 10'-0"

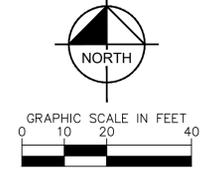
15 Dec 2023

Sheet 5 of 5



Drawing name: K:\GIS_DEVELOPMENT\Projects\Yard House_VernonHills_IL\2 Design\CAD\PlanSheets\C3.0 - SITE PLAN.dwg C3.0 Feb 08, 2024 6:11pm by: jekentony
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LAST REVISED FEBRUARY 9, 2024



SITE DATA TABLE	
YARDHOUSE RESTAURANT OUTLOT AT HAWTHORN MALL	
ZONING	B-1
AREA	84,363 SF
PARKING PROVIDED	126 STANDARD SPACES
	5 ADA SPACES
	131 TOTAL SPACES

- ### GENERAL NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, AND ON THE MAIN ROADWAY SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND EPOXY ON CONCRETE OR AS APPROVED BY IDOT.
 - REFER TO SHEET C8.0 FOR PAVEMENT SECTION DETAILS.
 - METHOD OF FROST PROTECTION SHALL BE PROVIDED AT ALL EXTERIOR DOOR INGRESS/EGRESS. SEE ARCHITECTURAL PLANS.
 - FIRE LANE SIGNAGE SHALL BE INSTALLED PRIOR TO OCCUPANCY AND MAINTAINED BY THE PROPERTY OWNER. FIRE LANES SHALL BE MAINTAINED SO THAT THERE ARE NO OBSTRUCTIONS, INCLUDING ICE OR SNOW, TO VEHICULAR ACCESS.

CURB AND PAVING LEGEND

	STANDARD PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER
	REVERSE PITCH CURB AND GUTTER
	CONCRETE SIDEWALK (SEE CONSTRUCTION DETAILS)
	EXPOSED AGGREGATE CONCRETE SIDEWALK (SEE CONSTRUCTION DETAILS)
	STANDARD DUTY ASPHALT PAVEMENT (SEE CONSTRUCTION DETAILS)
	HEAVY DUTY ASPHALT PAVEMENT (SEE CONSTRUCTION DETAILS)
	HEAVY DUTY CONCRETE PAVEMENT (SEE CONSTRUCTION DETAILS)

- ### KEY NOTES
- B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
 - DEPRESSED CURB AND GUTTER
 - CONCRETE SIDEWALK, TYP. (SEE DETAILS)
 - ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
 - ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8 WITH R7-1101P VILLAGE SIGN, SEE DETAILS)
 - 4" WIDE PAINTED SOLID LINE, TYP.
 - CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 - 24" WIDE STOP BAR, TYP. (SEE DETAILS)
 - STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
 - TRASH ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - TRANSFORMER PAD (FOR REFERENCE ONLY)
 - 5' PAINTED PEDESTRIAN CROSSWALK (SEE DETAILS)
 - ACCESSIBLE RAMP (SEE DETAILS)
 - EXPOSED AGGREGATE CONCRETE SIDEWALK
 - 2" WIDE DETECTABLE WARNING TRUNCATED DOME STRIP. STRIP SHALL BE PRECAST AND "BRICK RED" IN COLOR (SEE DETAILS)
 - EXISTING SIDEWALK
 - LIGHT POLE
 - CURB CHANNEL (SEE GRADING PLAN)
 - SITE-RETAINING-WALL (SEE GRADING PLAN)
 - KNEE WALL (SEE GRADING PLAN)
 - MONUMENT SIGN (INCLUDING SITE ADDRESS)
 - 6" CONCRETE STAIRS (SEE GRADING PLAN)
 - "NO PARKING - FIRE LANE" SIGN (12"x18"; RED LETTERING & WHITE BACKGROUND)
 - FIRE LANE STRIPING, TYP.

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 17097C0252K, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.



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SCALE: AS NOTED DESIGNED BY: NAM DRAWN BY: JTA CHECKED BY: RNM	 SITE PLAN
YARD HOUSE RESTAURANT HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL	ORIGINAL ISSUE: 01/26/24 KHA PROJECT NO. 190009008 SHEET NUMBER C3.0

Drawing name: \\kimley-horn.com\NW_OH\GIS_DEV\190009008_Centennial_Yard House_VernonHills_IL\2 Design\CAD\PlanSheets\C3.1 - PAD SITE PLAN.dwg - C3.1 Dec 15, 2023 11:48am By: jke Antony
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SITE DATA TABLE

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ZONING	B-1
AREA	84,363 SF
PARKING PROVIDED	126 STANDARD SPACES
	5 ADA SPACES
	131 TOTAL SPACES

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 1709700252K, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.

GENERAL NOTES

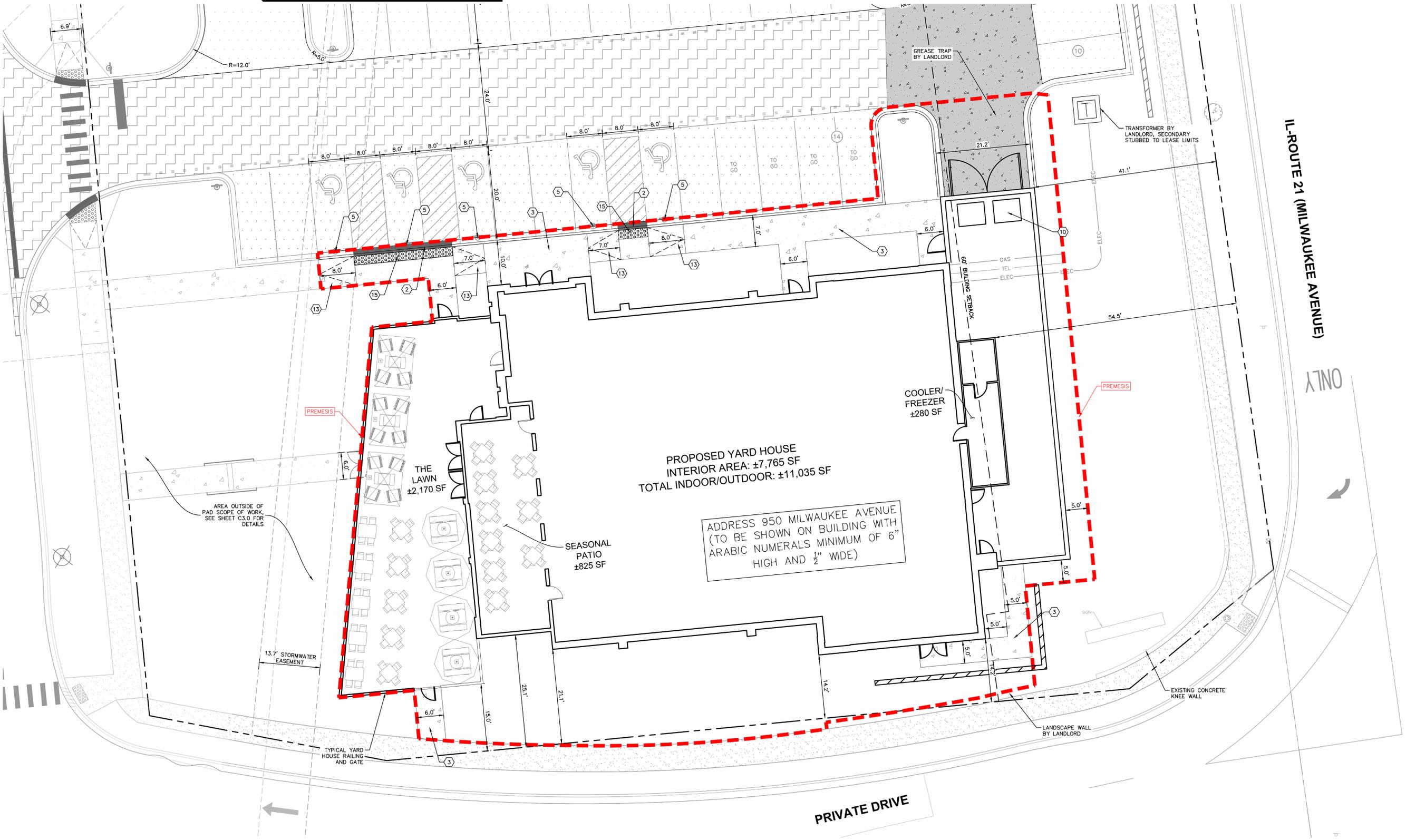
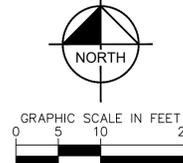
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- REFER TO SHEET C8.0 FOR PAVEMENT SECTION DETAILS.
- METHOD OF FROST PROTECTION SHALL BE PROVIDED AT ALL EXTERIOR DOOR INGRESS/EGRESS. SEE ARCHITECTURAL PLANS.

CURB AND PAVING LEGEND

	STANDARD PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER
	REVERSE PITCH CURB AND GUTTER
	CONCRETE SIDEWALK (SEE CONSTRUCTION DETAILS)
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	STANDARD DUTY ASPHALT PAVEMENT (SEE CONSTRUCTION DETAILS)
	HEAVY DUTY ASPHALT PAVEMENT (SEE CONSTRUCTION DETAILS)
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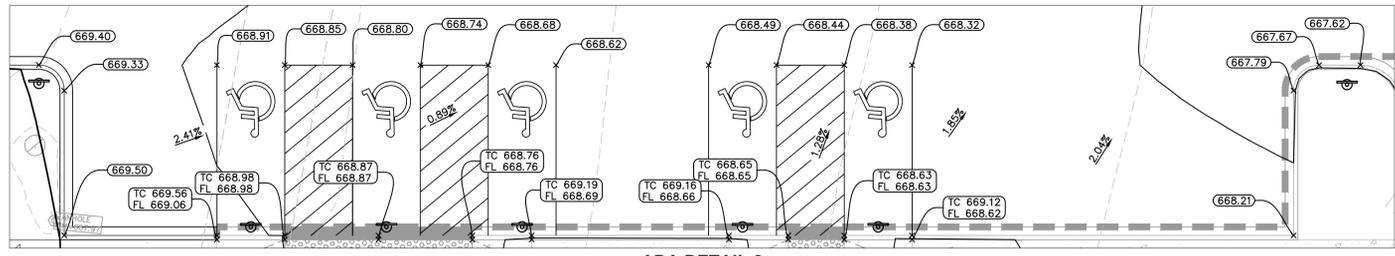
KEY NOTES

- | | |
|--|---|
| <ol style="list-style-type: none"> B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS) DEPRESSED CURB AND GUTTER CONCRETE SIDEWALK, TYP. (SEE DETAILS) ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS) ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8 WITH R7-101P VILLAGE SIGN, SEE DETAILS) 4" WIDE PAINTED SOLID LINE, TYP. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP. 24" WIDE STOP BAR, TYP. (SEE DETAILS) STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS) TRASH ENCLOSURE (SEE ARCH. PLANS FOR DETAILS) | <ol style="list-style-type: none"> TRANSFORMER PAD (FOR REFERENCE ONLY) 5' PAINTED PEDESTRIAN CROSSWALK (SEE DETAILS) ACCESSIBLE RAMP (SEE DETAILS) EXPOSED AGGREGATE CONCRETE SIDEWALK 2" WIDE DETECTABLE WARNING TRUNCATED DOME STRIP. STRIP SHALL BE PRECAST AND "BRICK RED" IN COLOR (SEE DETAILS) EXISTING SIDEWALK LIGHT POLE (FOR REFERENCE ONLY. SEE SHEET PH1.0 FOR DETAILS) CURB CHANNEL (SEE GRADING PLAN) SITE RETAINING WALL (SEE GRADING PLAN) KNEE WALL (SEE GRADING PLAN) |
|--|---|

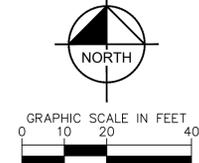


Kimley»Horn							
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SCALE:	DESIGNED BY: NAM	DRAWN BY: JTA	CHECKED BY: RNM	TRC REVIEW #1:	DATE:	BY:	JA
Centennial							
PAD SITE PLAN							
YARD HOUSE RESTAURANT HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL							
ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008 SHEET NUMBER							
C3.1							

Drawing name: K:\GIS_DEVELOPMENT\Projects\190009008_Centennial_Yard House_Vernon Hills_IL_V2 Design\CAD\PlanSheets\C5.0 - GRADING PLAN.dwg C5.0 Dec 15, 2023 11:54am by jpk.ontony
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ADA DETAIL 2
SCALE: 1" = 10"

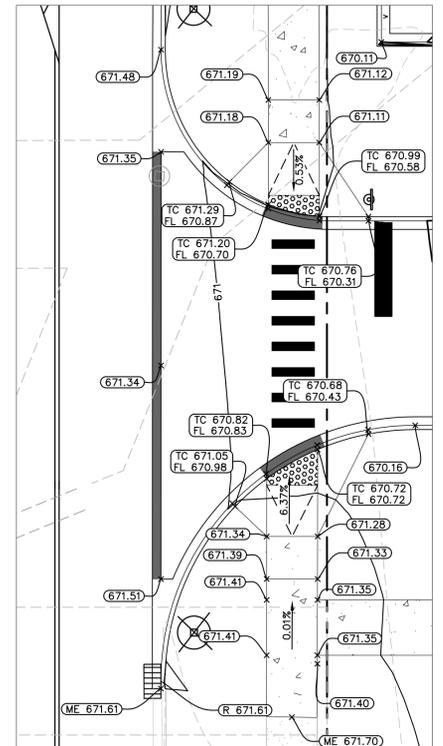
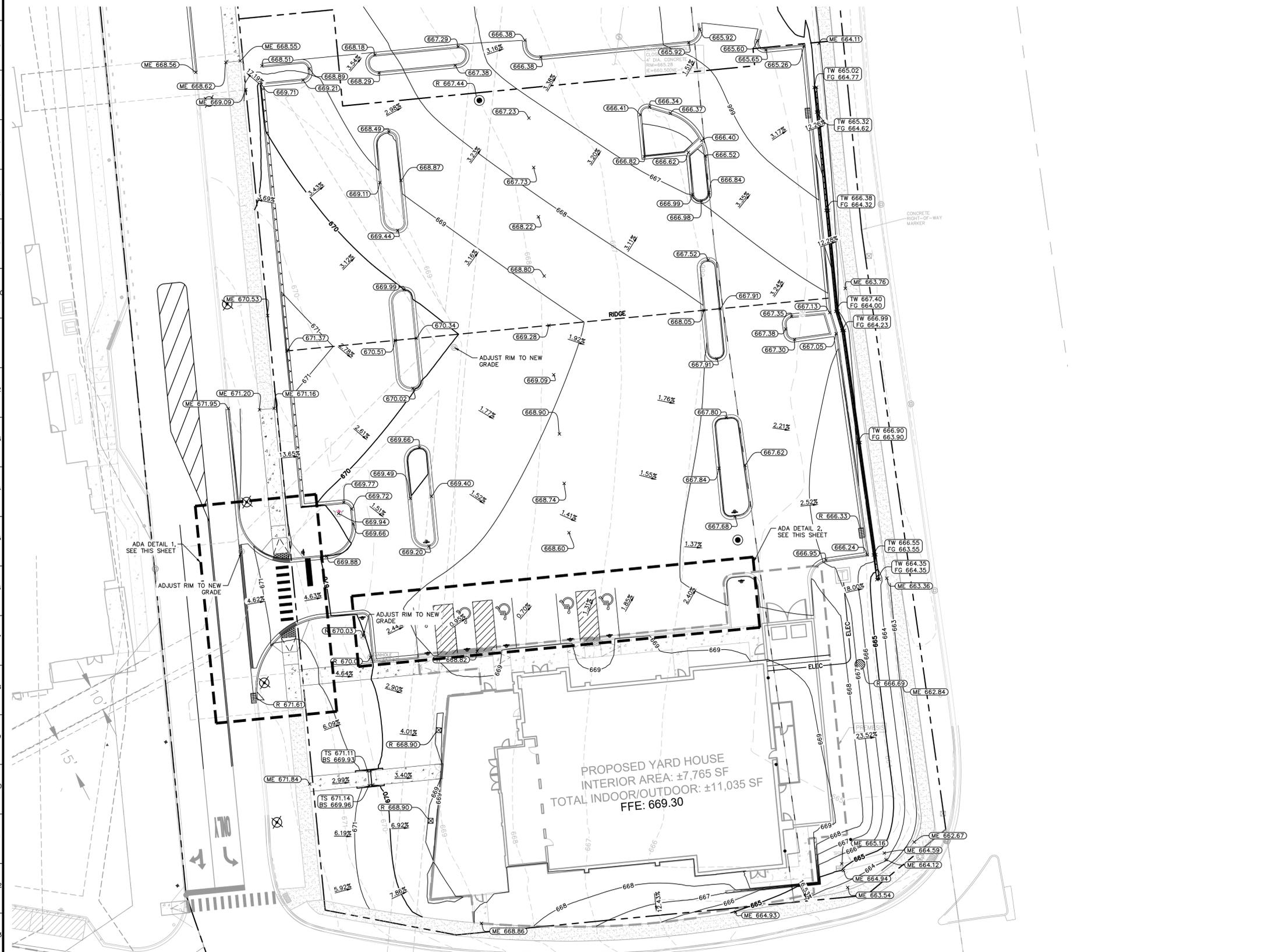


GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

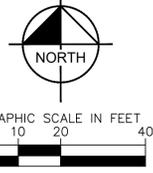
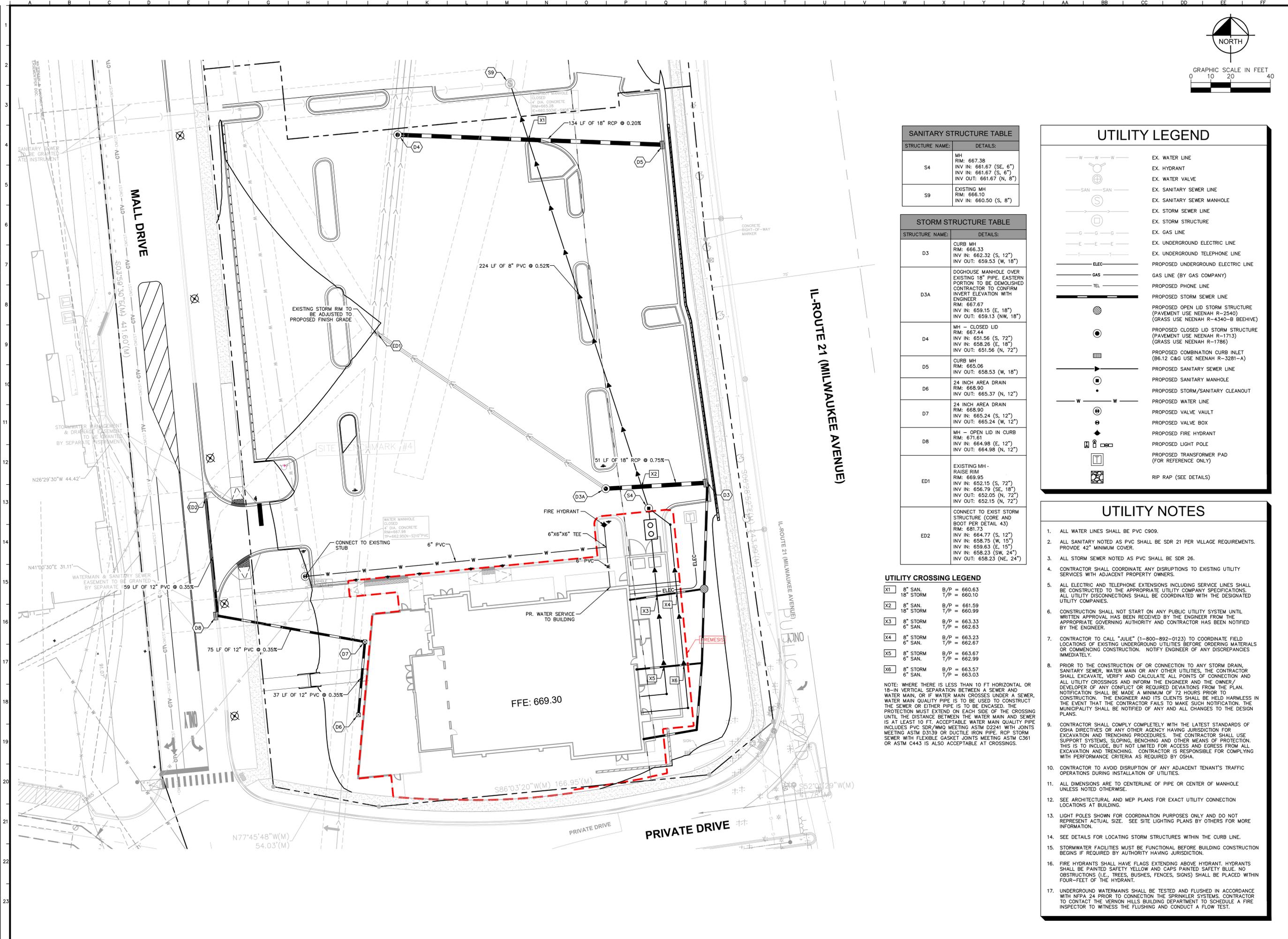
TP = TOP OF PAVEMENT	XXX	PROPOSED CONTOUR
EP = EDGE OF PAVEMENT	---XXX---	EXISTING CONTOUR
FL = FLOW LINE	---	RIDGE LINE
TC = TOP OF CURB	---	SLOPE AND FLOW DIRECTION
ME = MATCH ELEVATION	X.XX%	100-YEAR OVERLAND OVERFLOW ROUTE
TF = TOP OF FOUNDATION	←	DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
R = RIM ELEVATION	←	PROPOSED SWALE
TW = TOP OF WALL	---	PROPOSED RETAINING WALL
FG = FINISHED GRADE	---	REVERSED PITCH CURB AND GUTTER
TS = TOP OF STAIRS	---	ACCESSIBLE ROUTE
BS = BOTTOM OF STAIRS	---	RIP RAP (SEE DETAILS)



ADA DETAIL 1
SCALE: 1" = 10"

Kimley»Horn	© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 575 LAKE COOK RD., STE. 200 PHILADELPHIA, PA 19103 WWW.KIMLEY-HORN.COM	SCALE: AS NOTED DESIGNED BY: NAM DRAWN BY: JTA CHECKED BY: RMM	DATE: 12/1/23 REVISIONS:
Centennial		GRADING PLAN	
YARD HOUSE RESTAURANT		HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL	
ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008		SHEET NUMBER C5.0	

Drawing name: K:\GIS_LDEV\190009008_Centennial_Yard House_VernonHills_IL_V2 Design\CAD\Plans\Sheets\C7.0 - UTILITY PLAN.dwg C7.0 Dec 15, 2023 10:00pm by: jek Antony
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SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S4	MH RIM: 667.38 INV IN: 661.67 (SE, 6") INV IN: 661.67 (S, 6") INV OUT: 661.67 (N, 8")
S9	EXISTING MH RIM: 666.10 INV IN: 660.50 (S, 8")

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D3	CURB MH RIM: 666.33 INV IN: 662.32 (S, 12") INV OUT: 659.53 (W, 18")
D3A	DOGHOUSE MANHOLE OVER EXISTING 18" PIPE. EASTERN PORTION TO BE DEMOLISHED. CONTRACTOR TO CONFIRM INVERT ELEVATION WITH ENGINEER. RIM: 667.67 INV IN: 659.15 (E, 18") INV OUT: 659.13 (NW, 18")
D4	MH - CLOSED LID RIM: 667.44 INV IN: 651.56 (S, 72") INV IN: 658.26 (E, 18") INV OUT: 651.56 (N, 72")
D5	CURB MH RIM: 665.06 INV OUT: 658.53 (W, 18")
D6	24 INCH AREA DRAIN RIM: 668.90 INV OUT: 665.37 (N, 12")
D7	24 INCH AREA DRAIN RIM: 668.90 INV IN: 665.24 (S, 12") INV OUT: 665.24 (W, 12")
D8	MH - OPEN LID IN CURB RIM: 671.61 INV IN: 664.98 (E, 12") INV OUT: 664.98 (N, 12")
ED1	EXISTING MH - RAISE RIM RIM: 669.95 INV IN: 652.15 (S, 72") INV IN: 656.79 (SE, 18") INV OUT: 652.05 (N, 72") INV OUT: 652.15 (N, 72")
ED2	CONNECT TO EXIST STORM STRUCTURE (CORE AND BOOT PER DETAIL 43) RIM: 661.73 INV IN: 664.77 (S, 12") INV IN: 658.75 (W, 15") INV IN: 659.63 (E, 15") INV IN: 658.23 (SW, 24") INV OUT: 658.23 (NE, 24")

UTILITY CROSSING LEGEND		
X1	8" SAN. 18" STORM	B/P = 660.63 T/P = 660.10
X2	8" SAN. 18" STORM	B/P = 661.59 T/P = 660.99
X3	8" STORM 6" SAN.	B/P = 663.33 T/P = 662.63
X4	8" STORM 6" SAN.	B/P = 663.23 T/P = 662.67
X5	8" STORM 6" SAN.	B/P = 663.67 T/P = 662.99
X6	8" STORM 6" SAN.	B/P = 663.57 T/P = 663.03

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/WMQ MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3139 OR DUCTILE IRON PIPE, RCP STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

UTILITY LEGEND

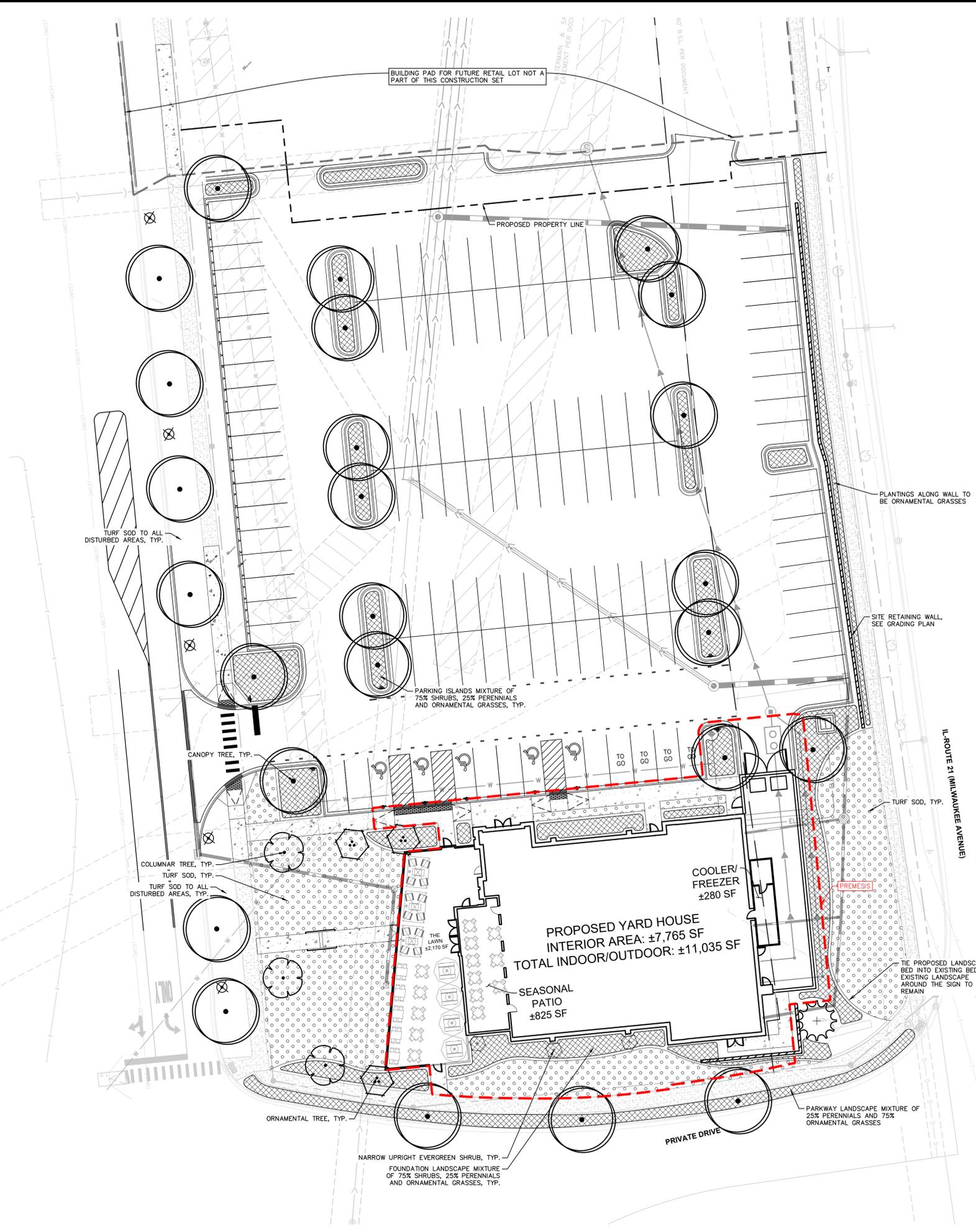
	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. STORM SEWER LINE
	EX. STORM STRUCTURE
	EX. GAS LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAYMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAYMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
	PROPOSED COMBINATION CURB INLET (86.12 C&G USE NEENAH R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	RIP RAP (SEE DETAILS)

UTILITY NOTES

- ALL WATER LINES SHALL BE PVC C909.
- ALL SANITARY NOTED AS PVC SHALL BE SDR 21 PER VILLAGE REQUIREMENTS. PROVIDE 42" MINIMUM COVER.
- ALL STORM SEWER NOTED AS PVC SHALL BE SDR 26.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.
- FIRE HYDRANTS SHALL HAVE FLAGS EXTENDING ABOVE HYDRANT. HYDRANTS SHALL BE PAINTED SAFETY YELLOW AND CAPS PAINTED SAFETY BLUE. NO OBSTRUCTIONS (I.E., TREES, BUSHES, FENCES, SIGNS) SHALL BE PLACED WITHIN FOUR- FEET OF THE HYDRANT.
- UNDERGROUND WATERMANS SHALL BE TESTED AND FLUSHED IN ACCORDANCE WITH NFPA 24 PRIOR TO CONNECTION THE SPRINKLER SYSTEMS. CONTRACTOR TO CONTACT THE VERNON HILLS BUILDING DEPARTMENT TO SCHEDULE A FIRE INSPECTOR TO WITNESS THE FLUSHING AND CONDUCT A FLOW TEST.

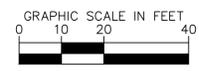
UTILITY PLAN	UTILITY PLAN
YARD HOUSE RESTAURANT	YARD HOUSE RESTAURANT
HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL	HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL
ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008	ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008
SHEET NUMBER C7.0	SHEET NUMBER C7.0
SCALE: AS NOTED DESIGNED BY: NAM DRAWN BY: JTA CHECKED BY: RNM	SCALE: AS NOTED DESIGNED BY: NAM DRAWN BY: JTA CHECKED BY: RNM
TRC REVIEW #1 12/1/23 DATE	TRC REVIEW #1 12/1/23 DATE

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CONCEPT PLANT SCHEDULE

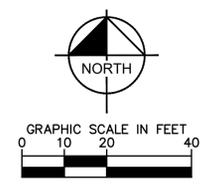
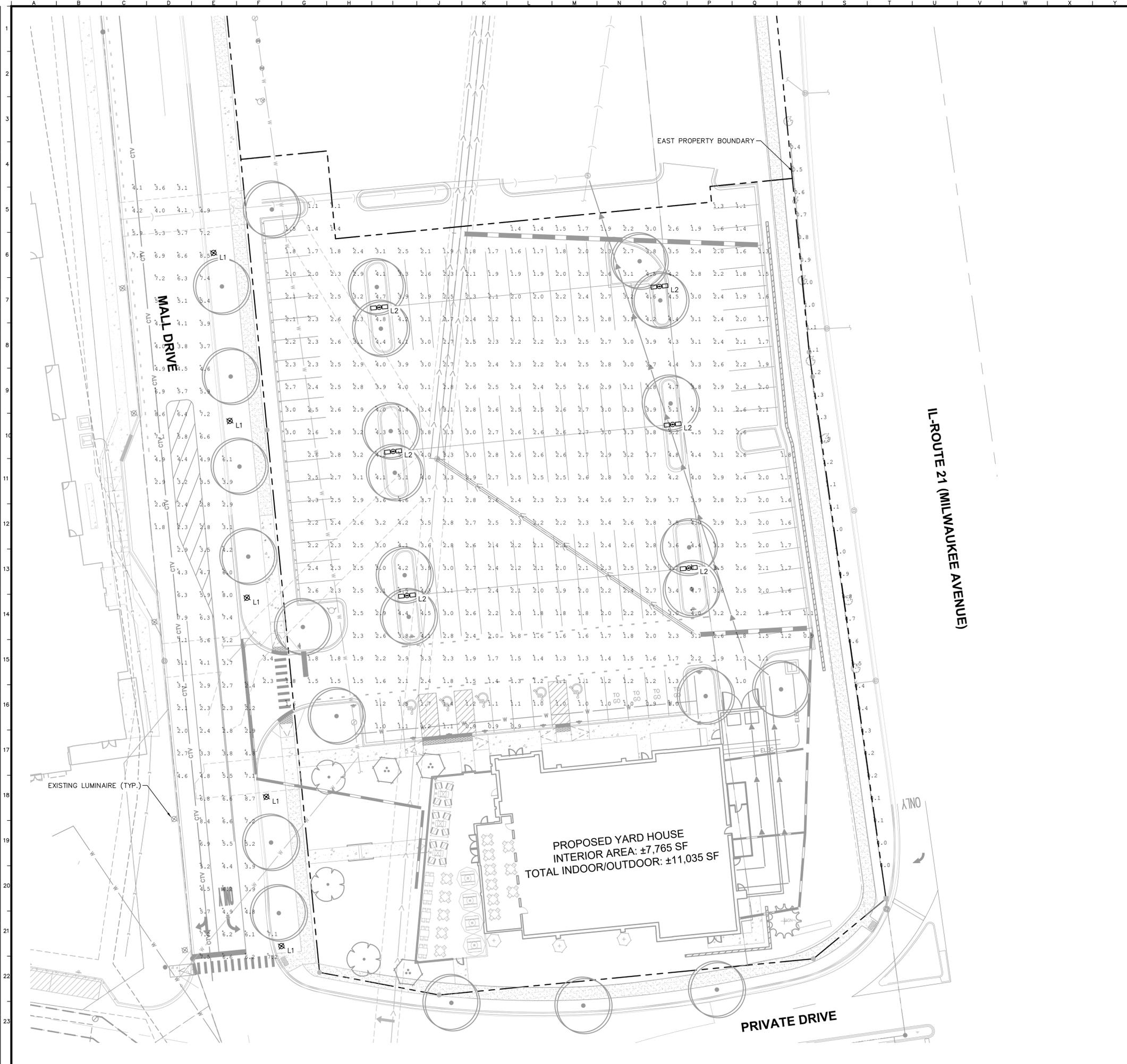
	CANOPY TREE	25
	COLUMNAR TREE	3
	EVERGREEN TREE	1
	ORNAMENTAL TREE	3
	NARROW UPRIGHT EVERGREEN SHRUB	3
	MIXTURE OF SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES	
	TURF SOD	



Call Before You Dig
JULIE
 1-800-892-0123

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Centennial	LANDSCAPE PLAN			
YARD HOUSE RESTAURANT	HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL			
ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008	SHEET NUMBER L1.0			

Drawing name: K:\GIS_DEVELOPMENT\Centennial_Yard House_VernonHills_IL_V2 Design\CAD\PH1.dwg PH1.0 Dec 15, 2023 12:13pm by: jke Antony
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PHOTOMETRICS NOTES

1. THE TARGET ILLUMINANCE VALUES ARE BASED ON APPENDIX II, SECTION J OF THE VERNON HILLS CODES AND ORDINANCES. ALL CONSTRUCTION AND LIGHTING DESIGN SHALL BE IN ACCORDANCE WITH SECTION J AND ALL APPLICABLE CODES AND STANDARDS.
2. ALL PHOTOMETRIC ILLUMINANCE VALUES SHOWN ON SITE PLAN IN IN TABLES ARE IN FOOTCANDLES (FC). 1 FC = 10.76 LUX.
3. CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
4. ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
5. THE PHOTOMETRIC ANALYSIS EXCLUDES ALL BUILDING MOUNTED, EXISTING ADJACENT LOT AND ARCHITECTURAL LIGHTING. SEE ARCHITECTURAL PLANS FOR ALL BUILDING MOUNTED AND EXTERIOR LIGHTING.
6. DRIVE AISLE LUMINAIRE/POLE FINISHES SHALL MATCH EXISTING DRIVE AISLE LIGHTING. PARKING LOT LUMINAIRE/POLE FINISHES SHALL BE CONFIRMED WITH ARCHITECT/OWNER PRIOR TO PURCHASE. CONTRACTOR SHALL CONFIRM FOUNDATION AND ALL MOUNTING REQUIREMENTS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND SETBACK OF LIGHT POLES.
8. FIXTURE SYMBOLS ARE DIAGRAMMATIC ONLY AND SHOULD BE USED AS REFERENCE.
9. ALL FIXTURES TO BE INSTALLED HORIZONTALLY WITH ZERO DEGREES OF TILT.
10. ELECTRICAL AND FOUNDATION DESIGN BY OTHERS. CONTRACTOR SHALL ORDER ACCESSORIES FOR MOUNTING, CONTROLS AND ADDITIONAL ACCESSORIES AS REQUIRED TO MEET THE FULL INTENT OF THE DESIGN.

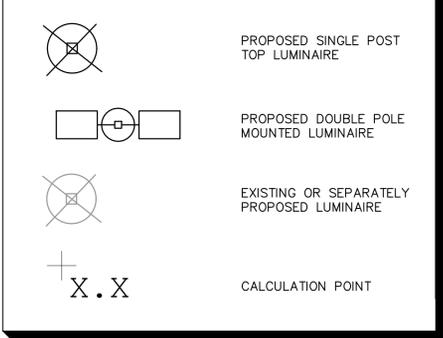
TARGET ILLUMINATION LEVELS

CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
COLLECTOR-COMMERCIAL STREET LIGHTING	0.8	-	-	4.0	-
COMMERCIAL OFF-STREET PARKING AREA LIGHTING	1.0	-	-	3.0	12.0
BUSINESS DISTRICT PERIMETER	-	2.0	-	-	-

CALCULATED ILLUMINATION LEVELS

CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
YARD HOUSE ADJACENT STREET LIGHTING	4.98	8.7	1.8	2.77	4.83
YARD HOUSE PARKING	2.56	5.3	0.9	2.84	5.89
EAST PERIMETER	0.72	1.3	0.0	-	-

PHOTOMETRICS LEGEND



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	PHOTOMETRIC PLAN						
YARD HOUSE RESTAURANT	HAWTHORN MALL OUTLOT 3 SWC MILWAUKEE AVE. & RING DR. VERNON HILLS, IL						
ORIGINAL ISSUE: 10/18/23 KHA PROJECT NO. 190009008	SHEET NUMBER PH1.0						
SCALE: AS NOTED DESIGNED BY: OMD DRAWN BY: CWV CHECKED BY: SK	TRC REVIEW #1 REVISIONS No.						
							12/1/23 DATE

CANOPY TREES



STATE TREE MIYABEI MAPLE
Acer miyabei 'Morton'™



COMMON HACKBERRY
Celtis occidentalis



SWAMP WHITE OAK
Quercus bicolor



AMERICAN SENTRY LINDEN
Tilia americana 'McKSentry'™



TRIUMPH ELM
Ulmus x 'Morton Glossy'™

ORNAMENTAL TREES



AUTUMN BRILLIANCE SERVICEBERRY
Amelanchier x grandiflora 'Autumn Brilliance'



IROQUOIS BEAUTY BLACK CHOKEBERRY
Aronia melanocarpa 'Morton'™



ARCTIC SUN® BLOODTWIG DOGWOOD
Cornus sanguinea 'Cato'



DWARF NINEBARK
Physocarpus opulifolius 'Little Devil'™



GRO-LOW FRAGRANT SUMAC
Rhus aromatica 'Gro-Low'

SHRUBS

GRASSES



FEATHER REED GRASS
Calamagrostis x acutiflora 'Karl Foerster'



ELIJAH BLUE FESCUE
Festuca glauca 'Elijah Blue'



PRAIRIE DROPSEED
Sporobolus heterolepis 'Tara'

PERENNIALS



SUMMER BEAUTY ORNAMENTAL ONION
Allium x 'Summer Beauty'



BLUE ICE STAR FLOWER
Amsonia tabernaemontana 'Blue Ice'

PERENNIALS



HAPPY RETURNS DAYLILY
Hemerocallis x 'Happy Returns'



WALKER'S LOW CATMINT
Nepeta x 'Walker's Low'



Store #23Y0006

890 N Milwaukee Ave., Vernon Hills, IL 60061



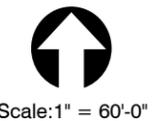
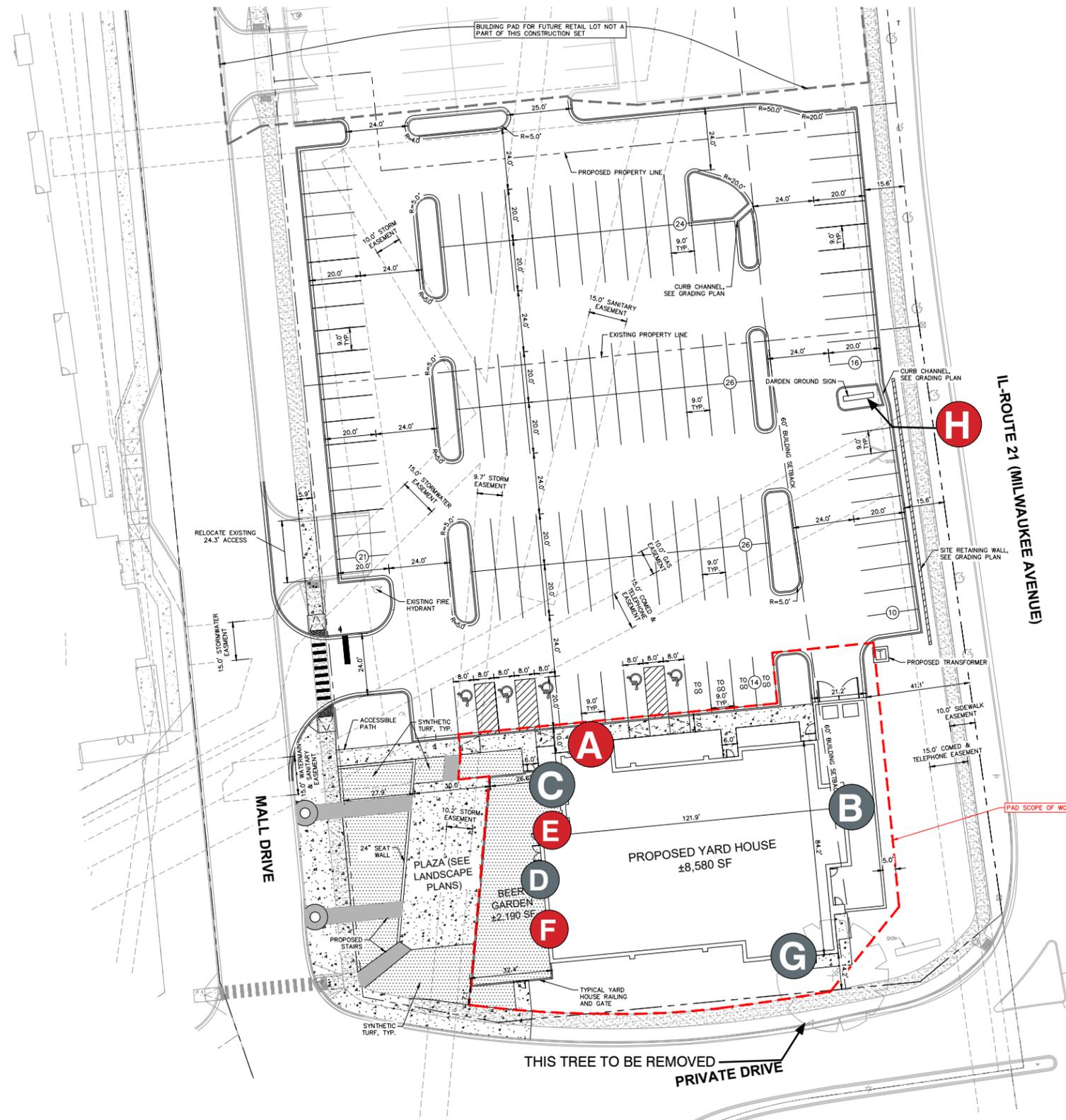
Ph: 1.800.599.7696
Fax: 1.574.237.6166

www.siteenhancementservices.com

SITE PLAN

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061

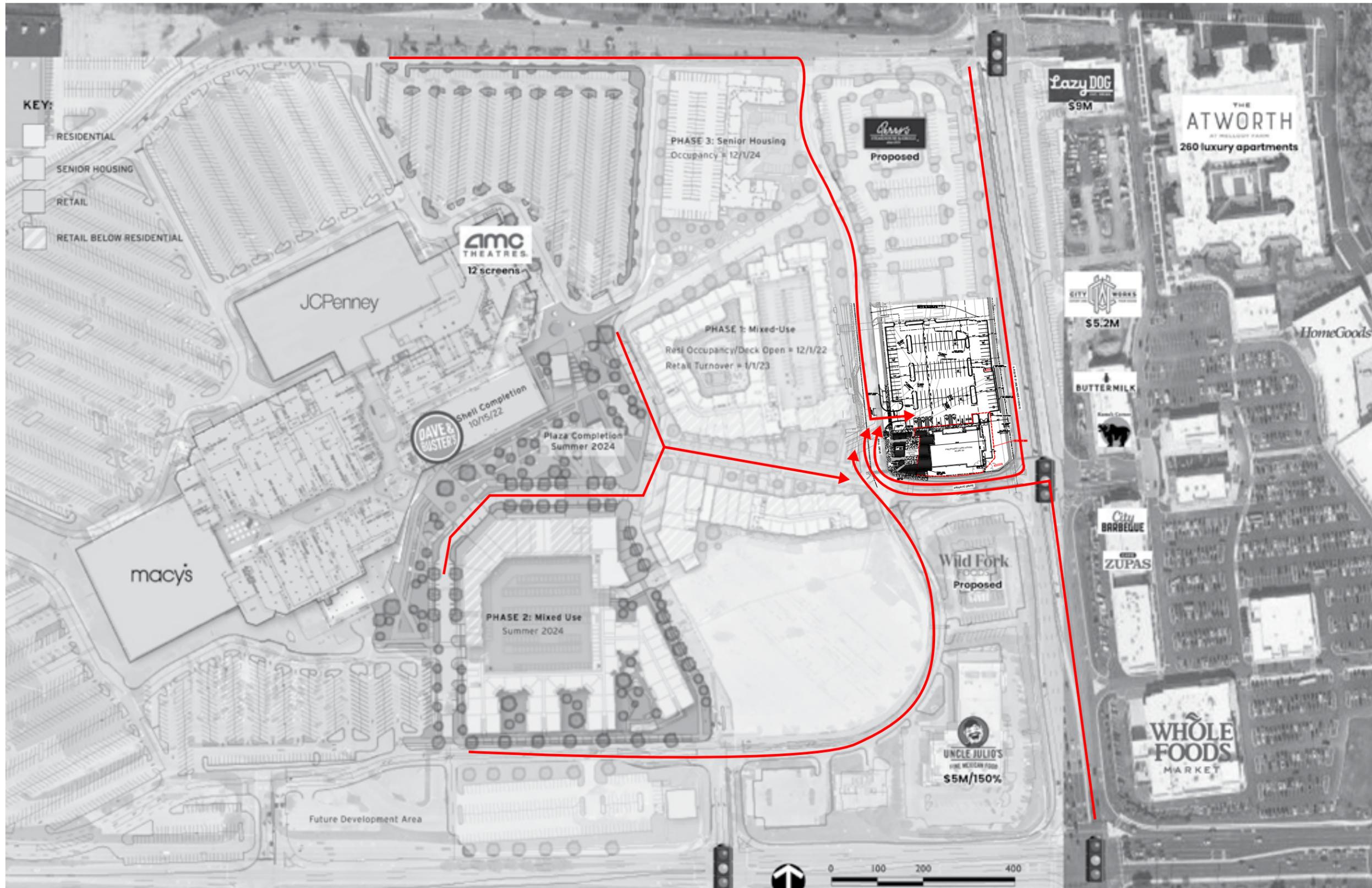
- A** 5'-0" x 11'-9-1/8" Wall Sign: 58.8 SF
- B** 5'-0" x 11'-9-1/8" Wall Sign: 58.8 SF
- C** 5'-0" x 11'-9-1/8" Wall Sign: 58.8 SF
- D** 1'-4" x 21'-8" FCO Canopy Letters: 28.8 SF
- E** 1'-2" x 7'-3" FCO Canopy Letters: 8.8 SF
- F** 1'-2" x 8'-3" FCO Canopy Letters: 10.2 SF
- G** 5'-0" x 11'-9-1/8" Wall Sign: 58.8 SF
- H** Custom Monument at 8'-0" OAH: 46.67 SF



Scale: 1" = 60'-0"

AERIAL MAP

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



FRONT ELEVATION

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



Measurements pending receipt of scaled architectural plans. Signs shown for example only, all sizes to be confirmed.

Scale: 3/32" = 1'



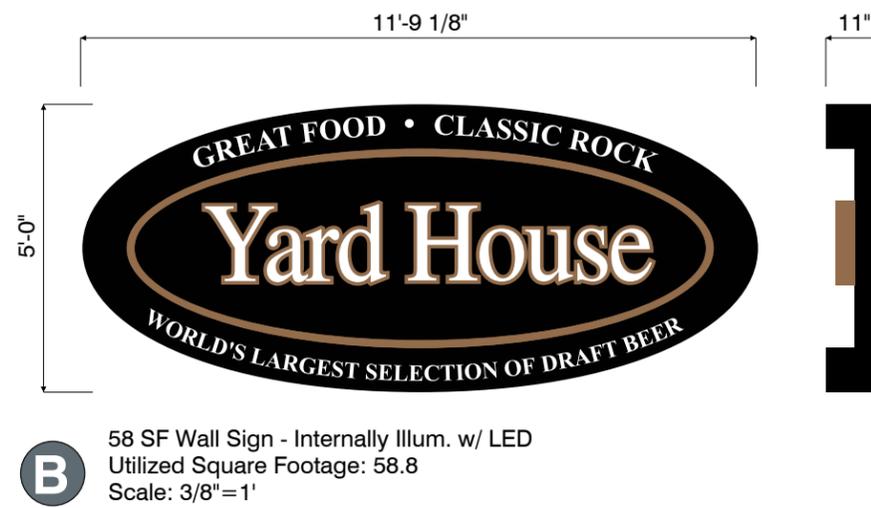
LEFT ELEVATION

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



Measurements pending receipt of scaled architectural plans. Signs shown for example only, all sizes to be confirmed.

Scale: 3/32" = 1'



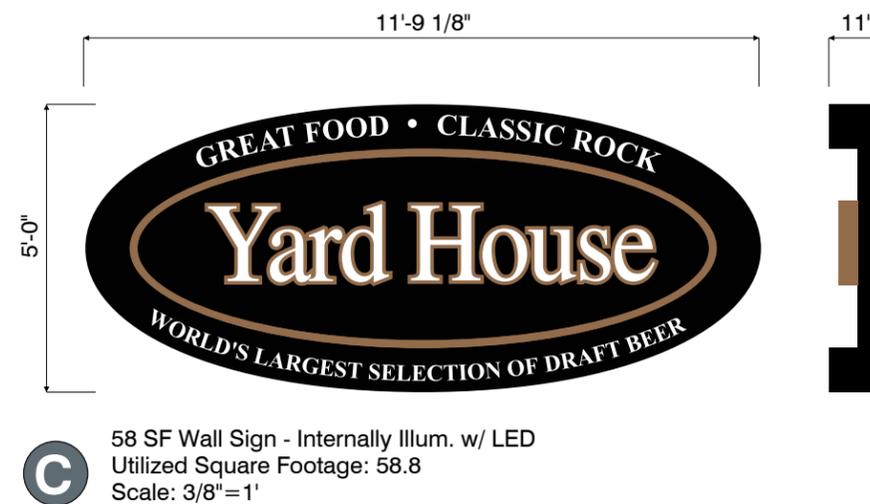
RIGHT ELEVATION

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



Measurements pending receipt of scaled architectural plans. Signs shown for example only, all sizes to be confirmed.

Scale: 3/32" = 1'



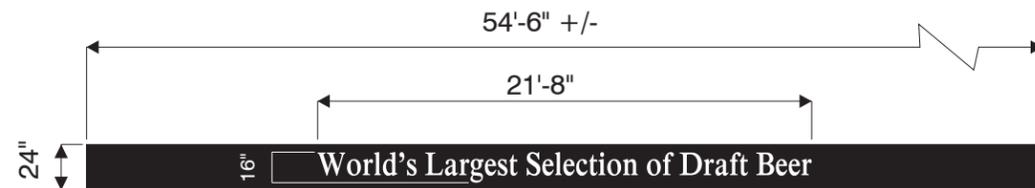
RIGHT ELEVATION

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061

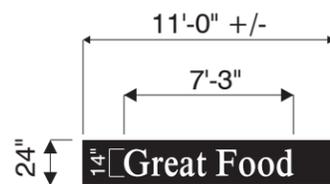


Measurements pending receipt of scaled architectural plans. Signs shown for example only, all sizes to be confirmed.

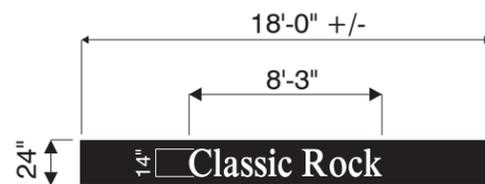
Scale: 3/32" = 1'



D Flat Cut-Out Letters
Utilized Square Footage: 28.8
Scale: 1/8" = 1'



E Flat Cut-Out Letters
Utilized Square Footage: 8.8
Scale: 1/8" = 1'



F Flat Cut-Out Letters
Utilized Square Footage: 10.2
Scale: 1/8" = 1'



REAR ELEVATION

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



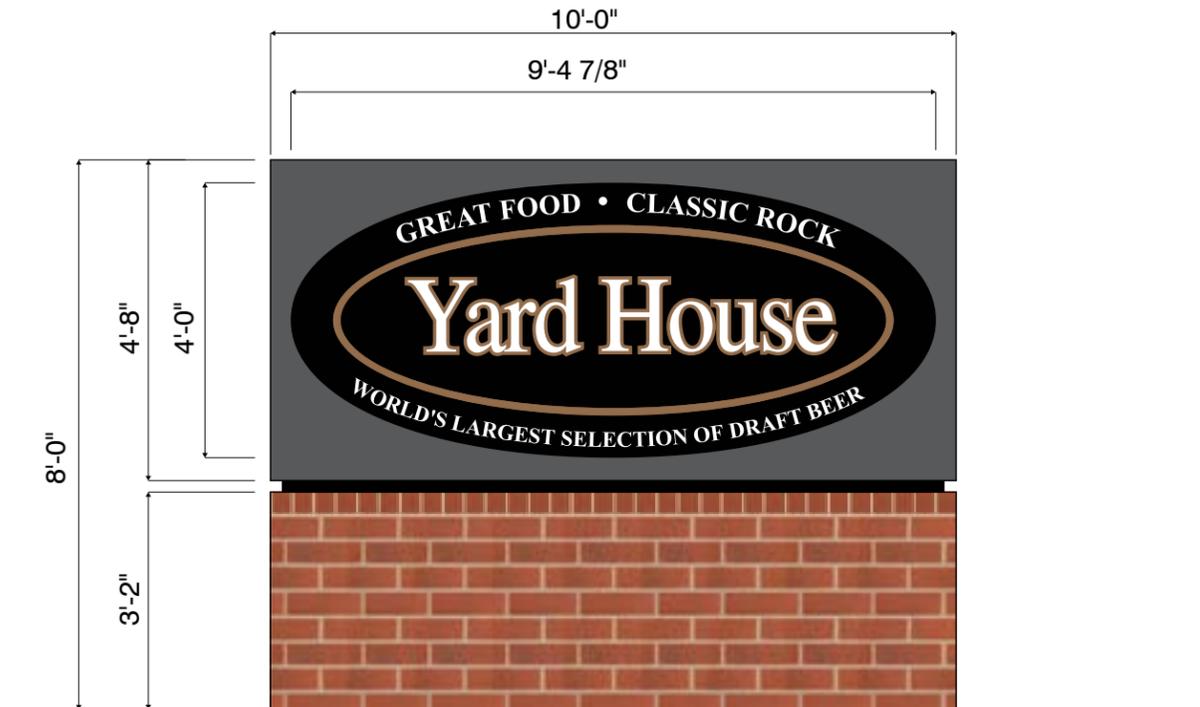
Measurements pending receipt of scaled architectural plans. Signs shown for example only, all sizes to be confirmed.

Scale: 3/32" = 1'



FREESTANDING SIGN

Store # 23Y0006
890 N Milwaukee Ave., Vernon Hills, IL 60061



H Custom Monument

37.62 SF Logo
46.67 SF Cabinet
Scale: 3/8" = 1'

Brick to match building
Monument materials and illumination to be determined





DOOR @ SERVICE AREA TO ACCESS P.S. & SWITCH
ON / OFF SWITCH

WHITE ACRYLIC
VINYL PLACED ON OVAL AS SHOWN

CHANNEL LETTER RETURNS ARE "METALLIC GOLD" ALSO 1" TRIM CAP (MET. GOLD)

WHITE ACRYLIC FACES W/ METALLIC GOLD STRIPING
WHITE ACRYLIC

POWERED BY:
General Electric L.E.D.'s

5'-0" X 11'-9-1/8" OVAL

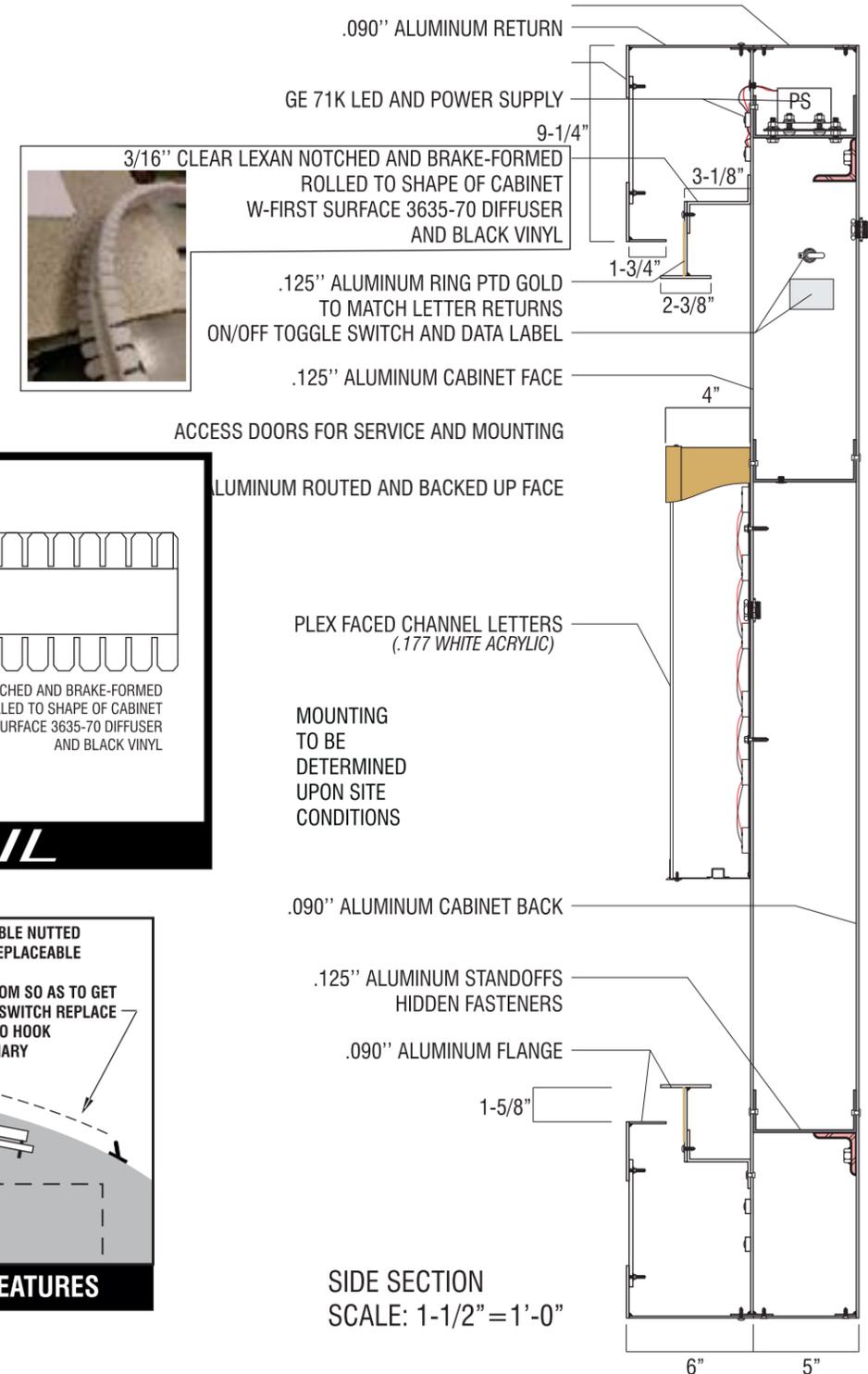
FRONT ELEVATION

SCALE: 1/2" = 1'-0"
58.80 TOTAL SQ. FT.



GENERAL SPECIFICATIONS:

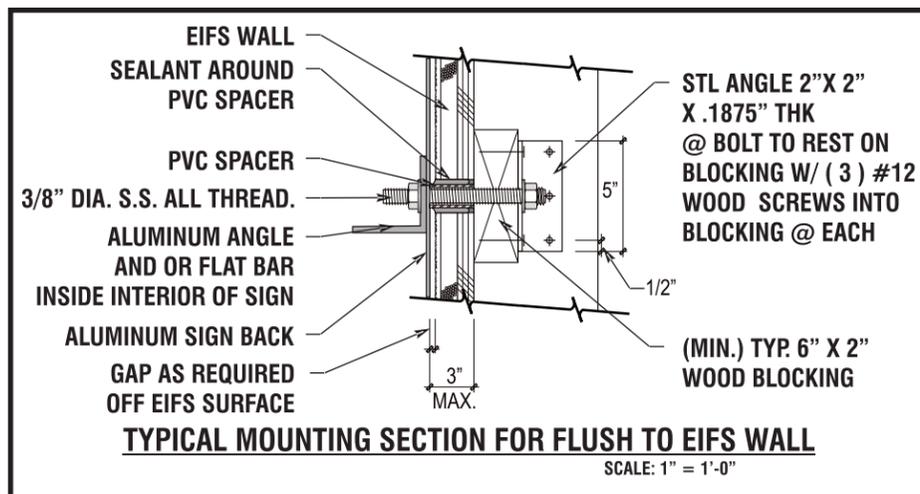
- ★ ALL ALUMINUM CONSTRUCTION
- ★ "YARD HOUSE" CHANNEL LETTERS ON FREE FORM CABINET.
- ★ OUTER EDGE OF FREE FORM COPY WILL BE CUT OUT AND BACKED UP W/ WHITE ACRYLIC.
- ★ WHITE G.E. 71K L.E.D. MODULES USED AS SHOWN.
- ★ W/ INTERIOR POWER SUPPLIES W/ MONOLITHIC DOOR ACCESS.
- ★ MOUNTING WILL BE DETERMINED AS JOB TO JOB DUE TO VARYING CONDITIONS AND TECHNIQUES.



COLOR KEY		
SATIN BLACK PAINT FINISH	WHITE 7328 ACRYLIC 3M # 3630-3440	METALLIC GOLD OR PAINT TO MATCH



TYPICAL EVENING LAYOUT VIEW

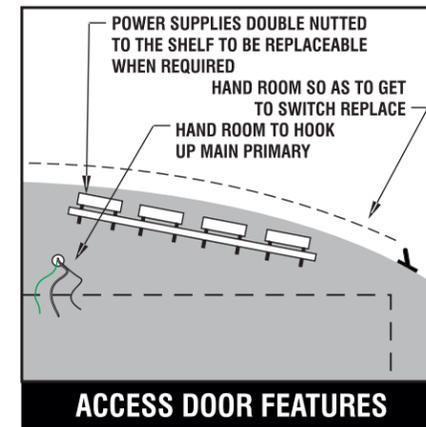


ELECTRICAL REQUIREMENTS

Total: T.B.D. Amps

(T.B.D.) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.





D WHITE ACRYLIC 1/2" THICK CUT OUT LETTERS
(1) ONE REQUIRED

SCALE: 1/2" = 1'-0"
 TOTAL: 28.8 S/F

SCOPE OF WORK:

MANUFACTURE 1/2" THICK WHITE 7508 OPAQUE ACRYLIC LETTERS WITH 1-1/2" MOUNTING PINS THREADED INTO ACRYLIC..
 INSTALL PATTERNS AND MOUNTING PINS TO BE PROVIDED WITH LETTERS.

INSTALLER:

INSTALL 1/2" THICK LETTERS USING 3-M MARINE CAULK CLEAR.
 CAULK TO BE IN HOLES TO SEAL AND ON LETTER BACKS.
 INSTALLER TO PROVIDE CAULK.

COLOR KEY



E WHITE ACRYLIC 1/2" THICK CUT OUT LETTERS
(1) ONE REQUIRED SCALE: 1/2" = 1'-0"
 TOTAL: 8.8 S/F



F WHITE ACRYLIC 1/2" THICK CUT OUT LETTERS
(1) ONE REQUIRED SCALE: 1/2" = 1'-0"
 TOTAL: 10.2 S/F

ALL MOUNTING HARDWARE, WALL FASTENERS TO BE NON-CORROSIVE TYPE.
 NO EXPOSED MOUNTING HARDWARE, BRACKETS, BRACING, OR ELECTRICAL CONDUIT PERMITTED.
 ALL WALL PENETRATIONS MUST BE FILLED WITH EXTERIOR GRADE, EXPANSIVE CAULKING TO CREATE A WATERTIGHT SEAL.

VILLAGE OF VERNON HILLS

ORDINANCE NO. 2024-021

AN ORDINANCE AMENDING ORDINANCE 2013-013 AND 2013-014, COLLECTIVELY
THE HAWTHORN MALL PUD, RELATED TO THE DEVELOPMENT OF YARD HOUSE
RESTAURANT WITH OUTDOOR DINING ON AN OUTLOT AT 950 N. MILWAUKEE
AVENUE

THE 20th DAY OF FEBRUARY 2024

Published in pamphlet form by the Authority of the
President and Board of Trustees of the Village of
Vernon Hills, Lake County, Illinois, this
20th day of February, 2024

AFFIDAVIT OF SERVICE

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

I, KEVIN TIMONY, BEING FIRST DULY APPOINTED, DEPOSES AND SAYS ON OATH THAT AS VILLAGE CLERK OF THE VILLAGE OF VERNON HILLS, HE DID CAUSE THE FOREGOING CERTIFICATE FOR ORDINANCE NO. 2024-021 AN ORDINANCE AMENDING ORDINANCE 2013-013 AND 2013-014, COLLECTIVELY THE HAWTHORN MALL PUD, RELATED TO THE DEVELOPMENT OF YARD HOUSE RESTAURANT WITH OUTDOOR DINING ON AN OUTLOT AT 950 N. MILWAUKEE AVENUE TO BE POSTED IN THE VILLAGE HALL AS REQUIRED BY LAW FROM FEBRUARY 20, 2024 TO MARCH 1, 2024.



Kevin Timony, Village Clerk

SUBSCRIBED AND SWORN TO BEFORE ME
THIS 20th DAY OF FEBRUARY 2024



Notary Public

