

FENCES

This hand out is for **REFERENCE ONLY**. For more details see specific code sections.

Fences may not extend beyond the front building line, or interfere with the clear vision area at or near street intersections. Fences shall be constructed of attractive materials.

Subdivision covenants or homeowner's associations may either prohibit or have more restrictive requirements than Village ordinances. Please verify if applicable. Several Homeowner Associations have asked the Village to obtain a copy of Association Approval Letters at the time a permit application is submitted. Please be prepared to include a copy with your application.

All plans for fences must be reviewed by the Village prior to installation. There is no plan examination fee for residential fences. For specific requirements for fences, dog runs, & patio enclosures see Zoning Ordinance 4.8 (attached)

TO APPLY FOR A PERMIT:

1. Read this handout entirely.
2. Complete a permit application.
3. Submit two (2) copies of the plat of survey of the property showing the proposed fence location (highlighted), the length of each section, and indicate the distance from the property line (must be within 12 inches).
4. Provide a copy of the written and signed contract between the homeowner and contractor, if applicable.
5. Submit a copy of the Homeowner's Association Approval Letter, if applicable.

Once the plan review has been completed you will be asked to call J.U.L.I.E. (Utility Location Service) at 1-800-892-0123 to locate underground utilities and to obtain a dig number. A permit will not be issued without a dig number. Your plan review will be completed within fifteen (15) business days or sooner.

FENCE REQUIREMENTS:

1. Fence posts must be set in concrete a minimum of forty-two (42) inches into the ground.
2. The maximum height for a fence is six (6) feet above existing ground.

3. Fences must be located within one foot of the property line.
4. Parallel fences are prohibited.
5. Solid fences that will be placed perpendicular to drainage easements must be placed a minimum of six (6) inches above ground.
6. Swimming pools may require fencing. (See “Swimming Pool Requirements” handout).

DISCLAIMER: The Village of Vernon Hills is not responsible for fence locations. Owners shall make sure that the Plat of Survey prepared by a licensed land surveyor is used to lay out a fence.

CONSTRUCTION REQUIREMENTS:

1. Existing grade should not be altered. Excavated spoils will need to be removed from site.
2. During construction, any water encountered must be filtered to be free of sediment before being drained or pumped into a paved area to flow directly into the storm sewer.
3. **No construction equipment or materials shall be deposited or stored within the Village Right-of-Way.**
4. Extreme care is to be taken to protect the existing utilities, pavement, curbs and sidewalks. Pavement, curb and sidewalk should be ramped or planked to avoid damage.
5. Damage to the Village Right-of-Way caused by any work shall be restored to the satisfaction of the Village Engineer. The Village will perform pre-construction and post-construction inspections to identify damage.

INSPECTION REQUIREMENTS:

The permit holder is responsible for scheduling inspections. To request an inspection, contact the Building Department at 847-367-3704 between the hours of 8:30AM through 3:30PM, Monday through Friday, at least one working day in advance with the permit number ready.

1. A Post Hole Inspection- All holes are dug to the proper depth, and are free of any debris or water before the posts are inserted or concrete is poured.
2. Final Inspection- Upon completion of work.

FENCE ORDINANCE:

Sec. 4.8. Fences.

4.8.1 Prohibited fences. The following fences are prohibited:

- (1) Chicken wire, barbed wire, welded mesh wire and electrically charged wire fences.
- (2) Snow fences, except for exclusive control of snow between November 1 and March 31 and as authorized by the zoning administrator for special events or construction sites.
- (3) Fences made of solid plywood, scrap lumber, temporary fencing and similar non-customary materials.
- (4) Fences made of common concrete or cinder block.
- (5) Fences topped with sharp-edged or spiked material, except this shall not prohibit picket fences.
- (6) Fences on any portion of any public right-of-way, except fences erected by a governmental entity.
- (7) Fences, shrubs, or hedges that interfere with clear vision at or near a street intersection in an area enclosed by a triangle as indicated on Figure 12, Site Distance Zone. In any case, no fence shall be erected closer to a street right-of-way intersection than 30 feet.
- (8) Fences so constructed as to prevent natural water drainage and/or water runoff.
- (9) Masonry fences in a required front yard, easements or drainage swale.
- (10) Fences with posts with the rough or unfinished side of the fence facing toward the street or neighboring property.
- (11) Fences built parallel to existing fences, except as provided for dog runs, privacy enclosures and fences around swimming pools.

4.8.2 Regulations for permitted fences:

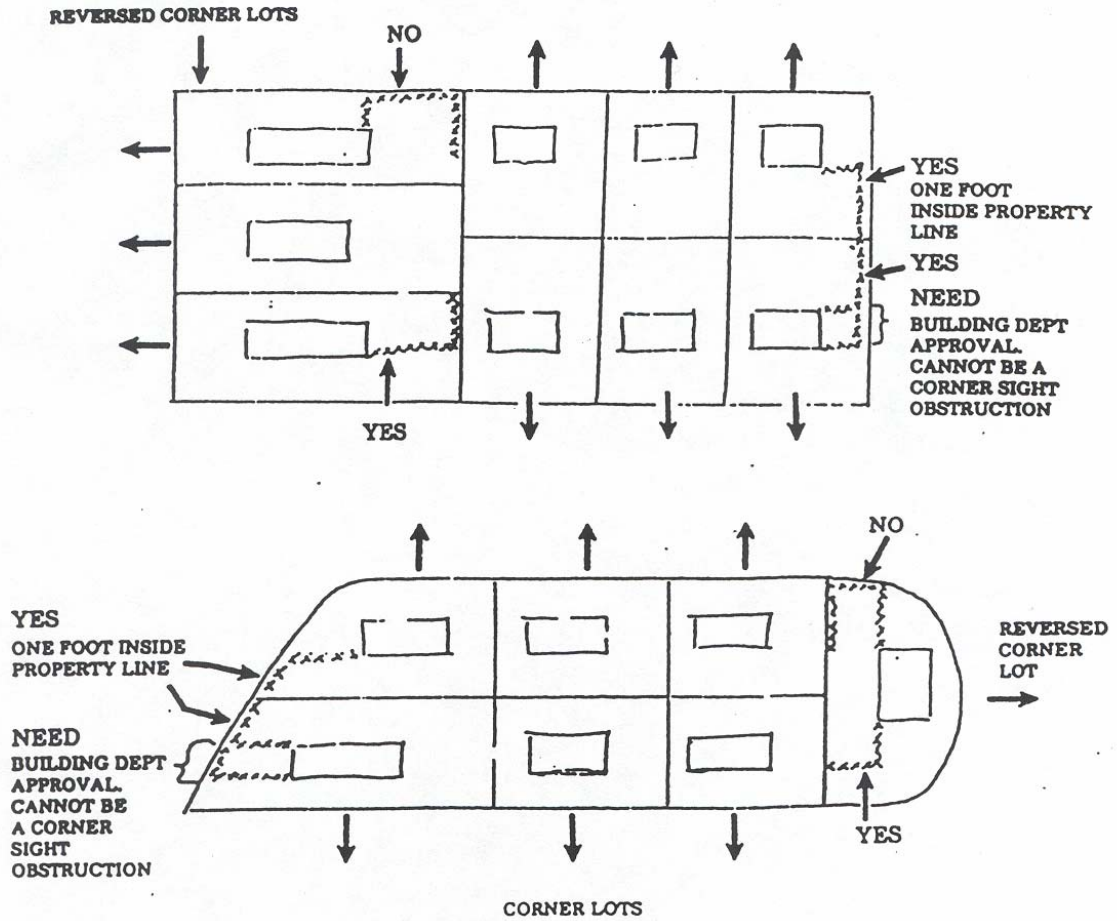
- (1) Residential uses. Fences may be erected to a height of six feet, measured from adjacent finished grade to the highest point of the fence, except that fence posts may be six inches higher than the six feet. Where the contour of the land contains abrupt changes of grade, the fence may be stepped with the six-foot height measurement over grade, as an average for a six-foot section of fence.
- (2) Business and industrial uses. In business and industrial districts, fences may be erected to a height of seven feet, measured from the adjacent finished grade to the highest point of the fence, except that fence posts may be six inches higher than the seven feet. Where the contour of the land contains abrupt changes of grade, the fence may be stepped with the seven-foot measurement over grade, as an average for a six-foot section of fence.
- (3) All uses.
 - (a) No fence, other than decorative fences as provided in subsection (b) below, shall be constructed or installed in any front yard. Fences may be installed in the interior side yards and the rear yards. No fence shall be constructed or installed beyond the front corner of the adjoining neighbor's building. Fences in side yards

- adjoining streets shall be constructed as outlined in subsection (g) below and as illustrated in Figure 14.
- (b) Decorative landscape fences not exceeding four feet in height and ten feet in length in any one direction or 20 feet in total length shall be allowed. Said fences shall be 50 percent see-through and be of split rail or picket design. A cyclone-type fence shall not be allowed.
 - (c) Public service uses and all regulation size tennis courts shall be exempt from the height limitations.
 - (d) Patio privacy fences not exceeding six feet in height shall be permitted to enclose an area not to exceed 500 square feet. Such fences shall be no closer than five feet to a property line.
 - (e) A dog enclosure or run, not to exceed six feet in height, shall be permitted to enclose an area not greater than 20 percent of the rear yard, provided it is set back at least ten feet from all property lines.
 - (f) All fences, except those listed below, shall be constructed as near as practicable to, but not more than 12 inches from, a property line:
 - 1. Privacy fences.
 - 2. Dog runs or enclosures.
 - 3. Decorative fences as provided in subsection (b) above.
 - 4. A fence along a property line abutting a public right-of-way in which case the fence shall be set one foot from the property line.
 - 5. Any section of fence used to connect a principal building with a fence located along a property line. (See subsection (g) below.)
 - 6. Decorative fences less than two feet in height, which are intended to protect landscaping, including but not limited to trees, bushes, shrubbery, and gardens. However, such fences shall not be placed in any manner, which presents a hazard to pedestrians on any public or private sidewalk.
 - 7. A fence extending from the dwelling to a detached garage for the purpose of enclosing rear yard or a portion thereof.
 - (g) On corner lots, a corner side yard fence may be constructed to a point, which does not extend beyond the front wall of the building or corner side yard lot line of the adjoining property.
 - (h) A gate or permanent opening of at least three feet shall be provided in any fence, which fully encloses an area.
 - (i) Applicability of building code. All provisions of the building code of the Village of Vernon Hills apply to the construction of fences. In the event of a conflict, the provisions of this ordinance shall control.

(Ord. No. 90-58, 11-13-90; Ord. No. 91-44, § 1, 7-16-91; Ord. No. 92-61, § I, 10-6-92; Ord. No. 93-69, § I, 9-21-93)
Cross reference(s)--Residential fence locations, App. C, Art. twenty-seven, Figure 13.

FIGURE 14. RESIDENTIAL SIDE YARD ADJOINING A STREET—FENCE LOCATIONS

Permitted Fences in a Side Yard Adjoining a Street



↑ Indicates legal front direction

XXXXX Indicates a fence

Note—All fences permitted in the side yard adjoining a street must stay inside the property line by one foot, minimum.
(Ord. No. 428, § 3(B), 5-17-83)

CDC:94

**Village of Vernon Hills
Community Development Department
290 Evergreen Drive, Vernon Hills, IL 60061
Phone 847-367-3704 - Fax 847-367-2541 - http:// www.vernonhills.org**

DECK/SHED/FENCE PERMIT APPLICATION

PLEASE PRINT

Homeowner's Name: _____

Address: _____

Phone: _____ **E-Mail:** _____

Applicant's Name: _____
(If different from above)

Phone: _____ **E-Mail:** _____

Supply the following:

- Two (2) copies of the Plat of Survey (illustrating where the work will be performed)
- Two (2) sets of construction plans (if applicable)
- Homeowner's Association Approval Letter (if applicable)
- Copy of proposal from contractor
- J.U.L.I.E. Dig Number (1-800-892-0123) _____

- Brief description of work to be performed: _____

Answer the following:

Estimated Value of Work \$ _____

Material Type (Wood, Cedar, Cyclone) _____

Length _____ Width _____ Height _____

Work being performed by:

Homeowner

Contractor Info:

Name: _____

Address: _____

Phone: _____ E-Mail: _____

Responsible Person, Soil Erosion and Sediment Control Residential Sites

The Watershed Development Ordinance requires that Contractors, or the permit applicant designate a responsible person in charge of soil erosion and sediment control. The designee shall be responsible for the maintenance of all soil erosion and sediment control items at all times. The designee shall be responsible to react to all violations or discrepancies immediately after notification.

For all improvement projects within the Village, the sites shall be kept clean at all times. Streets, sidewalks, and curb/gutter shall be broom swept clean, a minimum, at the end of each day, or more frequently if required by the Village. Existing storm sewer structures are to be protected from sediment deposits at all times.

All material delivery and the storage of materials for the site are prohibited within the Village Right-of-Way (typically 15' from the back of curb), unless written approval by the Village is granted.

TO BE COMPLETED AND RETURNED PRIOR TO ISSUANCE OF A PERMIT (Please print)

Designee: _____ Contact Number: _____

Permit Applicant / Developer / Contractor Name: _____

Project Address: _____ Pod / Lot: _____

Application or Permit Number: _____

Received by: _____ Date: _____