

**VILLAGE OF VERNON HILLS**  
**Community Development-Engineering Division**  
**Phone 847-367-3704 Fax 847-367-2541**

**PERMIT APPLICATION**  
**PARKING LOT AND ROADWAY MAINTENANCE**  
**PARKING LOT SEALCOATING / CRACK SEALING / RE-STRIPING**

**PLEASE PRINT**

Vernon Hills Business/Management Name: \_\_\_\_\_

Site Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Applicant's Name & Business Name: \_\_\_\_\_  
(If different from above)

Phone No.: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Supply the following:

- Two (2) copies of plat of survey (illustrating where work will be performed)
- Four (4) sets of plans that delineate the proposed improvements, including repair strategy, location of repairs, and cost estimate of work to be performed
- Two (2) striping and signage plan showing existing and proposed
- Homeowners Association/Property Management approval letter (if applicable)

Explain the work to be performed: \_\_\_\_\_

\_\_\_\_\_

Answer the following:

Estimated value of work \$ \_\_\_\_\_

Material Being Used \_\_\_\_\_

Total Parking Stalls Required \_\_\_\_\_

Total Handicapped Parking Stalls Required \_\_\_\_\_

Work being performed by:

- Contractor
- Other

Company Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**ORDINANCE NUMBER 2003-20**

**AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE  
VILLAGE OF VERNON HILLS, CHAPTER 5 – BUILDINGS AND BUILDING  
REGULATIONS, ARTICLE IX, PROPERTY MAINTENANCE CODE,  
SECTION 5-142(k), PARKING LOT AND PRIVATE ROADWAY  
MAINTENANCE.**

**WHEREAS**, the President and the Board of Trustees of the Village of Vernon Hills is authorized to prescribe minimum property maintenance standards for the purpose of promoting the public health, safety, comfort, convenience, and general welfare of the people of Vernon Hills; and

**WHEREAS**, in the legislative judgment of the President and Board of Trustees found that building regulations and minimum property maintenance standards must be dynamic and modified from time to time to reflect changes in model codes, construction materials, recognized construction methods, and safety standards necessary to preserve and promote the private and public interest; and

**WHEREAS**, the President and Board of Trustees, being fully appraised of the definitions, standards, and rules set forth in the 2000 International Property Maintenance Code, found that in its judgment, would justify it in approving an ordinance adopting the 2000 International Property Maintenance Code with certain amendments; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF VERNON HILLS, LAKE COUNTY, ILLINOIS AS FOLLOWS:**

SECTION I. That Chapter 5, Article IX, Section 5-142(g-k) of the Village of Vernon Hills Code of Ordinances is hereby renumbered to Sections 5-142(h-l), respectively.

SECTION II. That Chapter 5, Article IX, Section 5-142(g) of the Village of Vernon Hills Code of Ordinances is hereby created and approved to read as follows:

- (g) 302.3.1- Parking Lot and Private Roadways: It is the intent of this ordinance to provide a uniform guideline of submittal requirements for permits of maintenance of existing private roadways, parking lot/ loading dock resurfacing and reconstruction projects.
1. Definition of Parking Area: The parking area is to be defined as the pavement required for the number of parking stalls needed to accommodate the business customers and employees. The parking area covers striping, signage, lighting, drainage, and the ingress/egress areas to the business. The parking area also includes delivery and loading dock pavement.
  2. Application: The parking area will be evaluated in unison with the property owner. After inspection, if the following items are determined to exist the owner will be notified in writing of the deficiencies.
    - a. When the pavement begins to fail (i.e., potholes severe settlement or heaving, tripping hazards, asphalt failure due to subbase failure, severe cracking) as determined by the Village Engineer or the Village Code Enforcement Officer.
    - b. When the pavement condition presents a hazard to vehicular and pedestrian traffic.
    - c. When curb and gutter, sidewalks, and utility structures have failed.
    - d. When the striping and signage become unrecognizable or do not meet the current standards.
    - e. When there is a change in use, or additions are being made.

- f. All pavements are to meet the minimum requirements of the Village of Vernon Hills Development Regulations, the IDOT Standard Specifications for Road and Bridge Construction, the BOCA National Property Maintenance Code, and the Illinois Accessibility Code, current editions.
3. Enforcement: After an inspection of the property deficiencies, a written notice of the deficiencies will be provided to the property owner for response.
  4. Submittal for Permit
    - a. Plans
      - (i) A copy of the original approved design plan should be used for reference, where practical. The plan submittals are to delineate the proposed improvements including repair strategy, extent of repairs or modifications, and location. Four copies of the repair plans are to be submitted for review and comments, including a cost estimate.
    - b. Pavement
      - (i) When pavement removal has been determined to be necessary (i.e.: severe alligating, potholes, etc.), the pavement is to be repaired in accordance to the Village Development Ordinance and the IDOT standard Specifications for Road and Bridge Construction, Section 440 Pavement Rehabilitation, or current editions. The pavement shall be neatly sawcut before removal. The asphalt is to be removed and replaced with the required pavement cross-section. Should the subbase be determined to be unstable, a proofroll may be required to determine the scope of repairs. If the subbase is determined to be failing after the asphalt has been removed, then the appropriate repairs will be required.
      - (ii) All patching areas will be re-graded and compacted. The sawcut asphalt edges require prime before the asphalt is replaced. For areas where the complete asphalt surface has been removed, aggregate prime coat shall be installed per the current specifications.
      - (iii) All necessary milling to maintain drainage is to be shown in plan.
      - (iv) Milling is required around any structure that is not to be adjusted or repaired.
      - (v) Milling is required were asphalt surface meets concrete surfaces.
      - (vi) Milling is required along all B-6.12 type curbs. Asphalt overlays within gutters are not permitted without the Village Engineers approval.
      - (vii) Milling is required along all “B” type curb, if the height of the curb will be 3 inches or less after the overlay.
      - (viii) Milling of large cracks and sealing, the use of geotextile fabric for alligatored areas and longitudinal cracks may be considered by the Village Engineer for less severe failures.
      - (ix) A butt joint is required where existing pavement meets new pavement.
      - (x) Pavement area is to be mechanically swept clean before prime coat is applied at the required application rate. Apply prime, in advance of paving, following the Village of Vernon Hills and IDOT specifications, current editions. The use of aggregate (sand) for prime is recommended if traffic will be allowed through the construction area.
      - (xi) A geotechnical engineer is recommended to be present for all paving operations to verify that the proper compaction is being obtained. Paving is to be installed per the Village of Vernon Hills and IDOT specifications, current editions.
      - (xii) Concrete pavement is to be patched in accordance to the IDOT Standard Specifications for Road and Bridge Construction, Section 442 Pavement Patching, or current edition.

- c. Manhole Structures (storm, sanitary, water)
  - (i) All structures in the paved areas shall be reconstructed as necessary to maintain planned drainage and integrity of the structure. All repairs are to conform to the current Village Standards No. 3,4,7,9,and 16.
  - (ii) Broken or deteriorated adjusting rings are to be replaced. Two (2) adjusting rings totaling eight (8) inches maximum is required.
  - (iii) All broken castings and lids are to be replaced.
  - (iv) Adjustments to any valve vaults or sanitary sewer structures are to get the approval of the Lake County Public Works Department.
  - (v) Use of frame insets is permitted
  - (vi) Structures and manhole lids are to be cleaned after paving.
  
- d. Curb and sidewalks
  - (i) All curb that is broken, not allowing proper drainage, missing, or creates a tripping hazard is to be replaced.
  - (ii) All sidewalk that is broken, missing, or creates a trip hazard is to be replaced.
  - (iii) Spalled or deteriorated sidewalk shall be replaced when it fails to meet the standards of the adopted edition of the International Property Maintenance Code.
  - (iv) Curb and sidewalk is to be replaced in accordance to the current Village Standards No. 28, 28A, 29, and 30.
  
- e. Lighting
  - (i) Lighting is to be verified after reconstruction of the parking lot to assure that damage has not occurred.
  
- f. Signage and Striping
  - (i) Shall be updated to the current standards.
  - (ii) The originally approved striping plans, including the exact amount of handicapped parking stalls will be used. Any changes to the plan, must be approved by the Building Division.
  - (iii) Handicapped parking spaces and signs shall meet the requirements of the current Illinois Accessibility Code.
  - (iv) Two (2) coats of paint are required for re-stripping applications.
  - (v) All signposts are to conform to the current Village Standards No. 44 and 45 and will be plumb and securely embedded into the pavement.
  - (vi) All sign panels missing, not legible or reflective are to be replaced to meet the current Village codes.
  
- g. Grading within the parking lot (islands)
  - (i) All areas within the parking lot shall be graded to drain, and settled areas filled in.
  - (ii) Any alterations to the existing parking lot islands are to be submitted for approval.
  
- h. Traffic Control
  - (i) It is the responsibility of the permit applicant to provide advance warning and safe access to the adjacent businesses during construction.
  - (ii) Proper notification is to be provided prior to the start of construction.
  - (iii) The construction area will be properly barricaded, and any required informational signs shall be provide and maintained.

- (iv) The storage of equipment and construction material will be confined to areas that are well lit and properly barricaded. At no time shall the area block drainage areas, fire hydrants, fire lanes, or entrance/exits.

SECTION III. Severability. In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable full force and effect. If any part of this ordinance is found to be invalid in any one or more of its several applications, all valid applications that are severable from the invalid applications shall remain in effect.

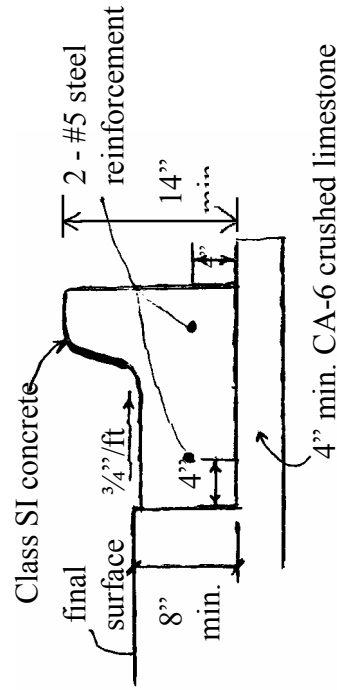
SECTION IV. Repeal and Savings Clause. All ordinances or parts of ordinances in conflict herewith are hereby repealed; provided, however, that nothing herein contained shall affect any rights, actions or causes of action which shall have accrued to the Village of Vernon Hills prior to the effective date of this ordinance.

SECTION V. Publication. This ordinance shall be published in pamphlet form in the manner provided by law.

SECTION VI. Effective Date. This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

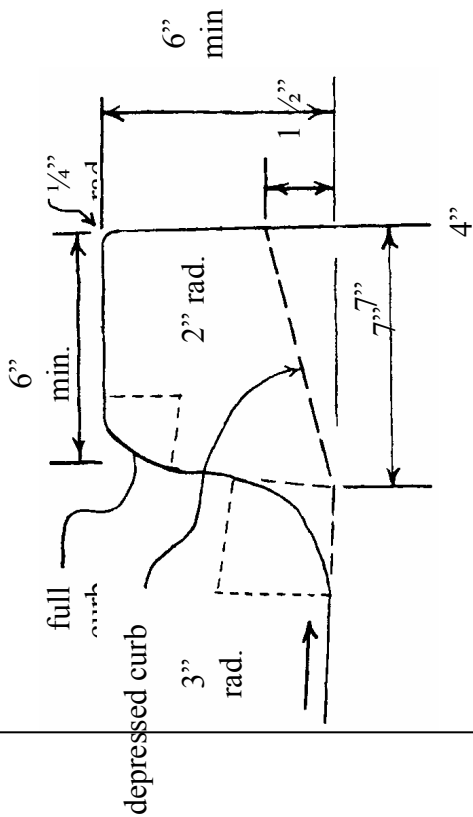
SECTION VII. This ordinance shall be known as Ordinance 2003-20.

# VILLAGE OF VERNON HILLS EXHIBIT NO. 28

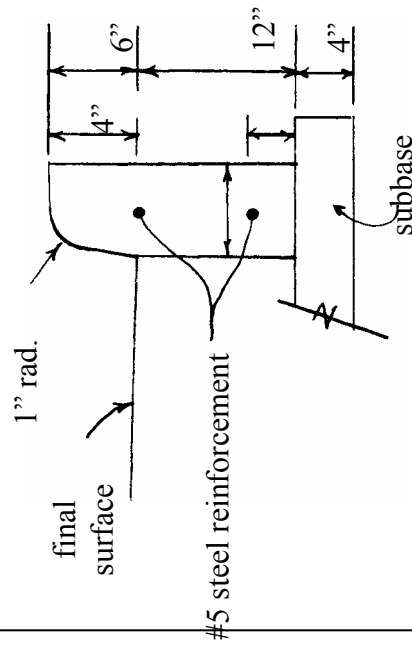


Notes:

1. Two (2) continuous #5 steel reinforcement bars are required for all public improvements, otherwise 2 - #5 steel reinforcement bars are required for all trench crossings, 10 feet either side of trench.
2. Control Joints shall be sawcut at 15 foot (max.) intervals, 1 1/2 inch deep, and within 24 hours.
3. Expansion joints shall be installed at all P.C.'s/P.T.'s, 5 foot either side of structures, 60 foot (max.) intervals with 3/4 inch preformed bituminous joint material and 2- 3/4 inch smooth dowels w/caps. Fill all expansion joints with poured joint sealer in accordance with IDOT Specifications, Section 452 or current.
4. All curb and curb/gutter combination shall be placed on a minimum of 4 inches of compacted crushed limestone having the same specifications as the pavement subbase material.
5. Provide a method of curing per I.D.O.T. specifications.
6. Protective coat required for all Village curb and gutter.
7. Carefully backfill curbs immediately after the 3-day cure.



## B-6xx CCC&G

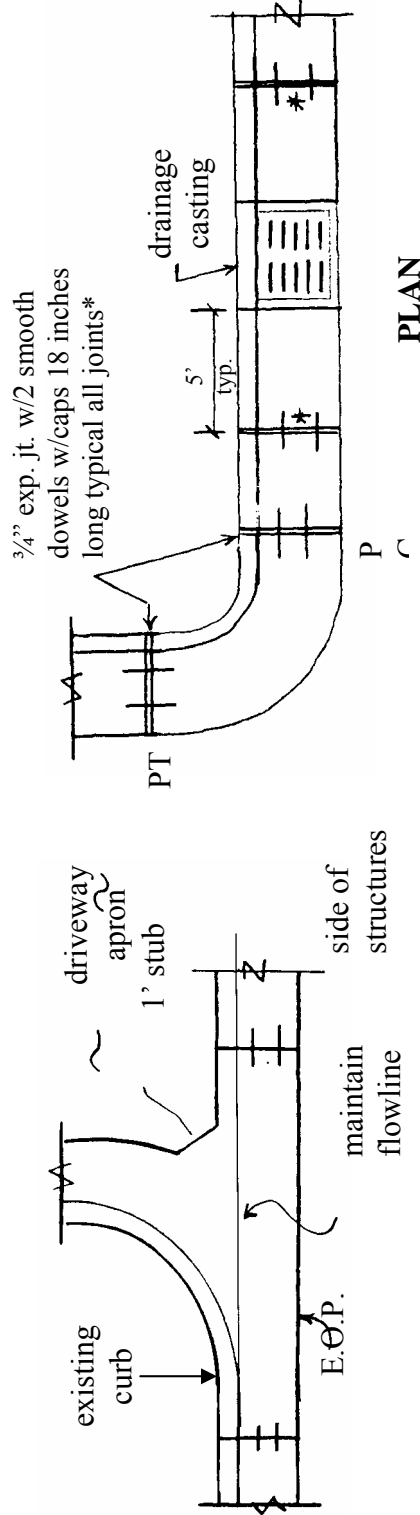
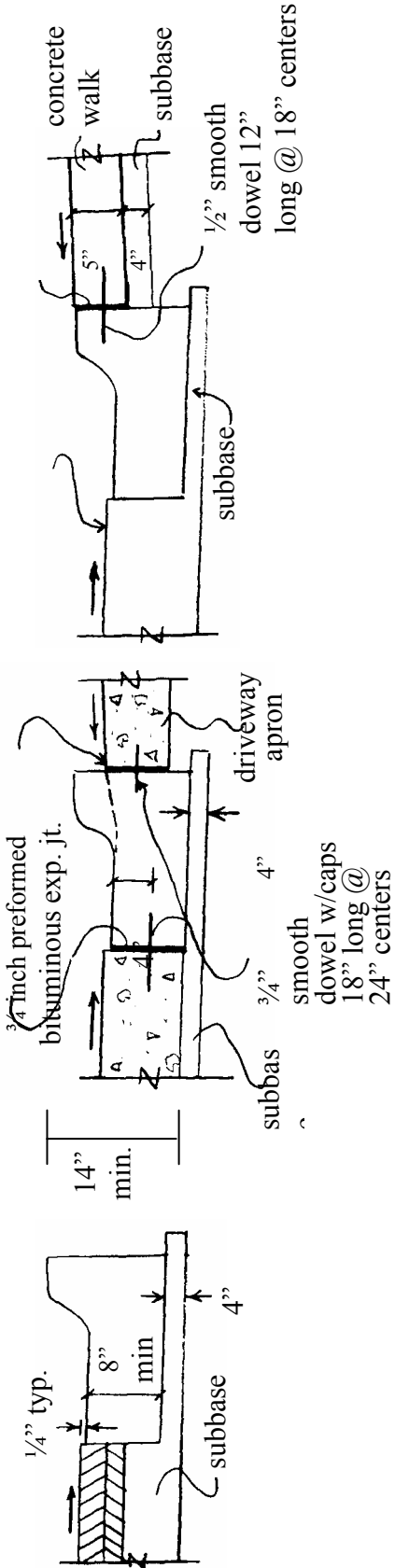


## BARRIER CURB

\*see dowel requirements  
adjacent to PCC pav't

# VILLAGE OF VERNON HILLS EXHIBIT NO. 28-A

## BARRIER CURB DETAIL



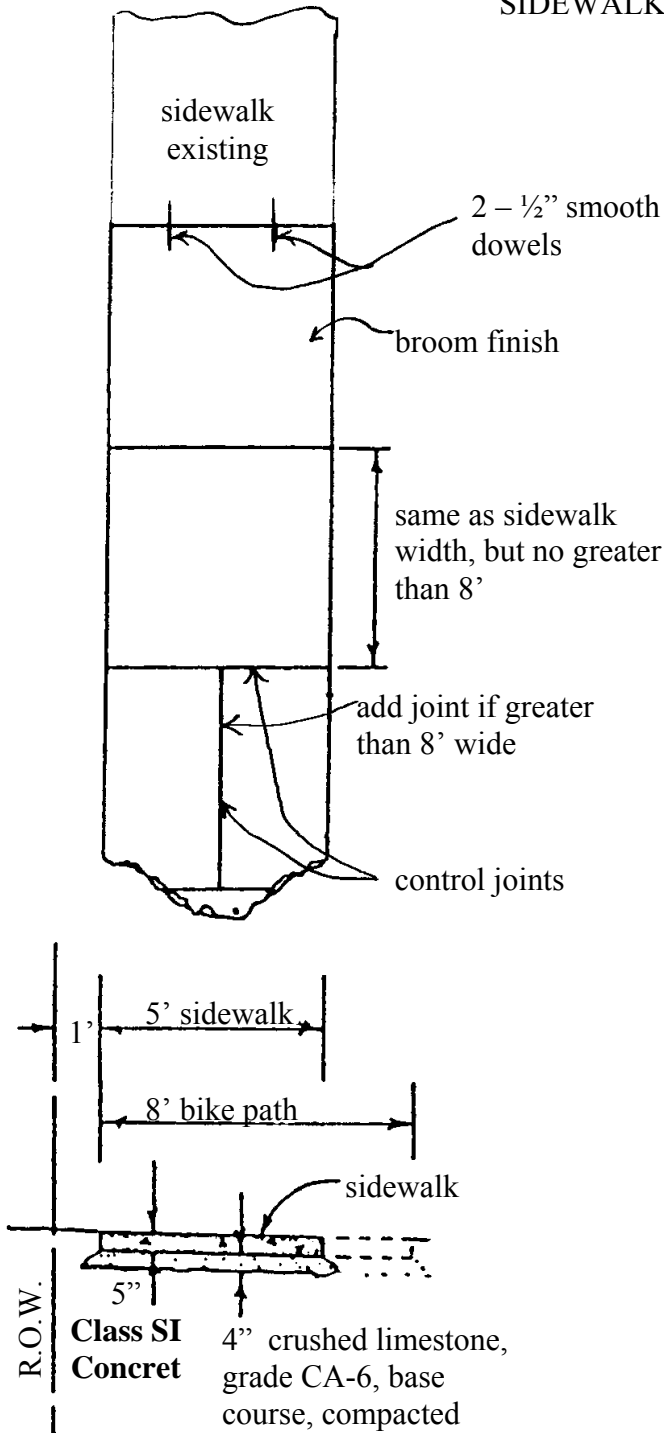
Notes:

DRIVEWAY APRON CURB  
DETAIL

1. Refer to Exhibit No. 28 for control joint requirements.
2. New curb shall be doweled into existing curb.
3. All expansion joints are to be filled with poured joint sealer in accordance with IDOT Specifications, Section 452 or current.

## VILLAGE OF VERNON HILLS EXHIBIT NO. 29

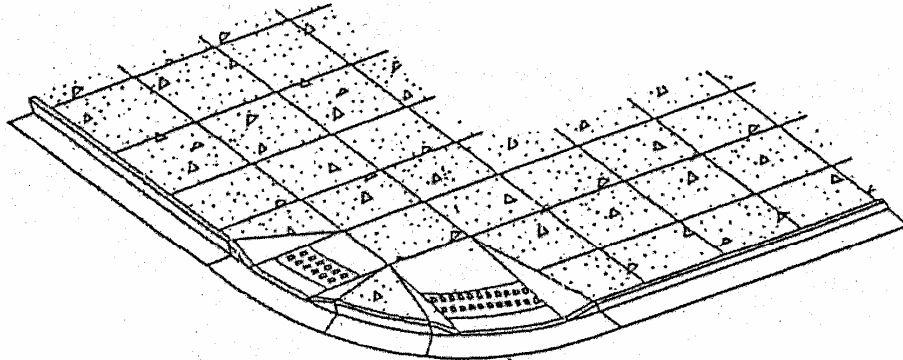
### SIDEWALK



#### Notes:

1. Control joints shall be 1/8 to 1/4 inches wide and 1/4 of the sidewalk thickness deep. The edges of the control joints shall be given a 1/4 inch radius.
2. 3/4 inch thick preformed bituminous transverse expansion joints with 2 – 1/2" smooth dowels with caps shall be required at no more than 50 foot intervals, at the junction with back of curb, at expansion joints in abutting curb and/or pavement, and at a places where the flow of concrete is interrupted for more than 30 minutes. The expansion joint interval shall be adjusted so that as few expansion joints as possible will fall in driveway crossings, and none at curb depressions.
3. Sidewalk crossing driveway shall be at least 6 inches thick and shall be at least as strong as the driveway pavement itself.
4. 2 per cent cross-slope (max) for sidewalk. 2 to 8 per cent slope (max) for parkway slope.
5. Two #5 steel reinforcing bars shall be installed in the sidewalk at all trench crossings. They shall extend at least ten feet beyond the edges of the trench.
6. Sidewalk adjacent to curb is to be doweled. See exhibit No. 28-A for detail.
7. Provide method of cure per I.D.O.T. specifications.

VILLAGE OF VERNON HILLS  
EXHIBIT NO. 30  
SIDEWALK CURB RAMPS



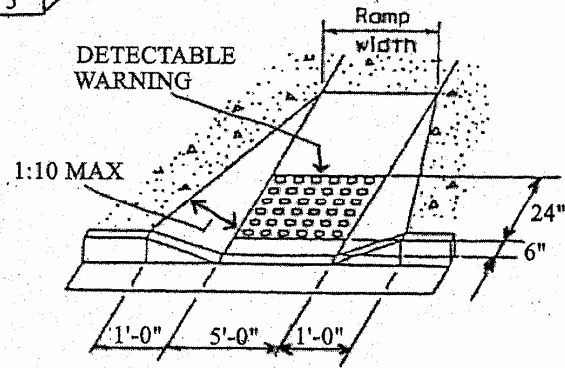
TYPE B RAMP



SLOPE 1:12 MAX.

RAMP PROFILE

SIDEWALK  
DOWELED TO  
CURB W/EXP. JT.



1:10 MAX

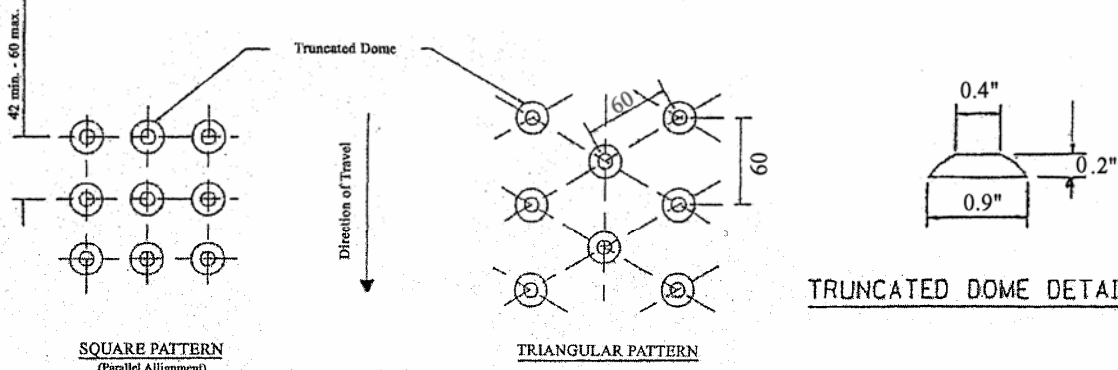
DETECTABLE  
WARNING

Ramp  
width

TYPE B

NOTES:

1. CONCRETE COLOR FOR TRUNCATED DOME AREA OF SIDEWALK CURB RAMPS SHALL BE FEDERAL STANDARD COLOR 30166, BRICK RED AND SHALL BE EVENLY MIXED INTO CONCRETE CROSS SECTION.
2. TO BE USED WITH IDOT STANDARD #424001-03 AND VILLAGE EXHIBIT #30



SQUARE PATTERN  
(Parallel Alignment)

TRIANGULAR PATTERN

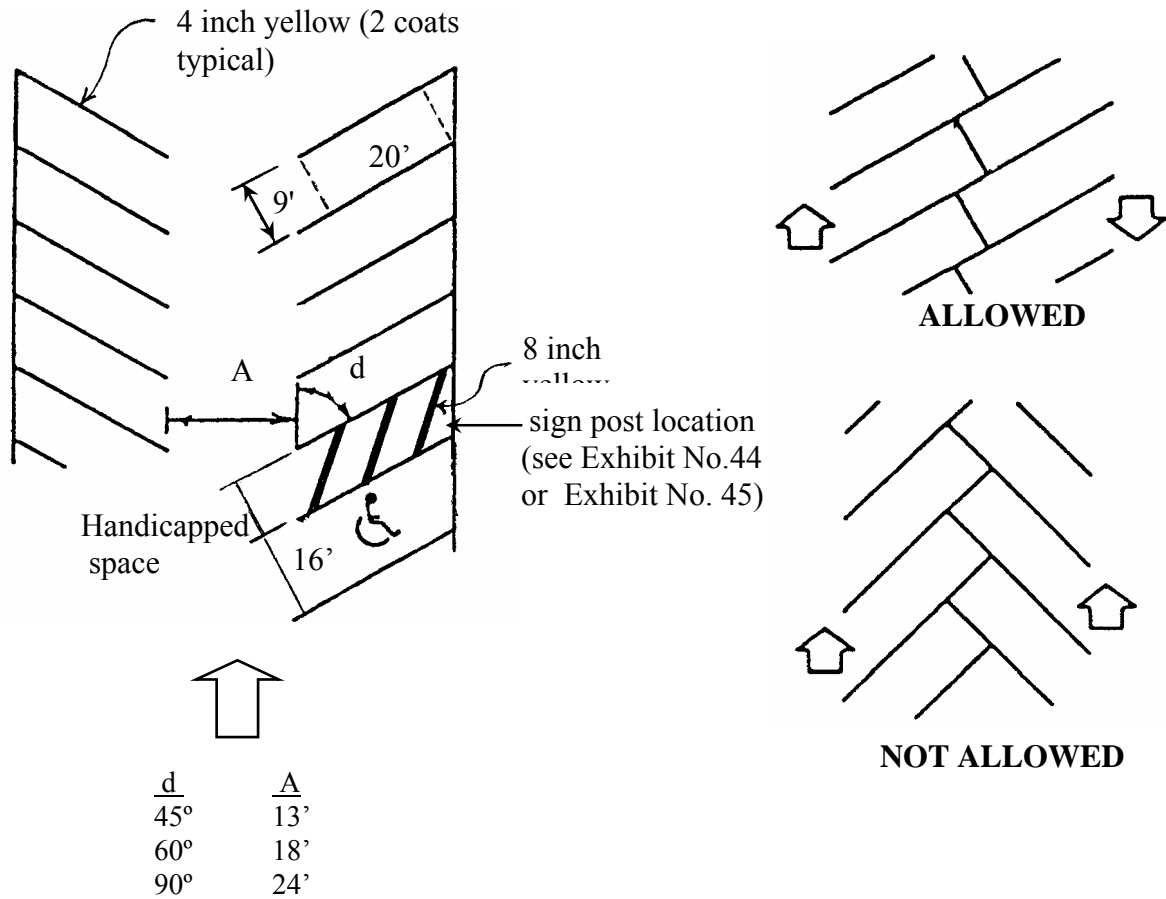
DETECTABLE WARNINGS DETAIL

TRUNCATED DOME DETAIL

REVISED 7/12/04

**VILLAGE OF VERNON HILLS  
EXHIBIT NO. 36**

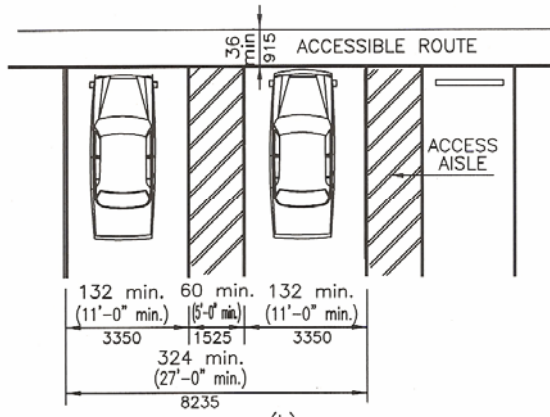
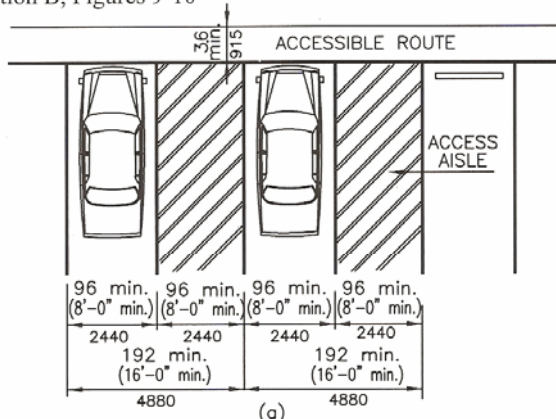
PARKING AREA LAYOUT



Notes:

1. All handicapped parking stripping shall conform to the current Illinois accessibility code.
2. All two-way aisles shall be 24 feet wide.
3. Parking space length shall not be less than that shown above. No deduction shall be made for perimeter parking space overhang distance.
4. Parking provisions of the zoning ordinance shall take precedence over provisions illustrated here if they are more restrictive.

Section 400, Illustration B, Figures 9-10



(b) Universal Parking Space Design

Fig. 9  
Dimensions Of Parking Spaces  
(Typical Parking Spaces for 45°, 60°, and 90° Arrangements)

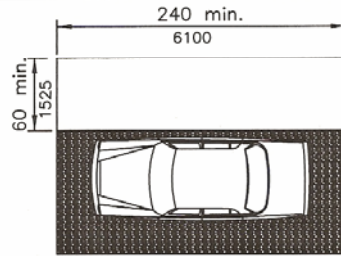
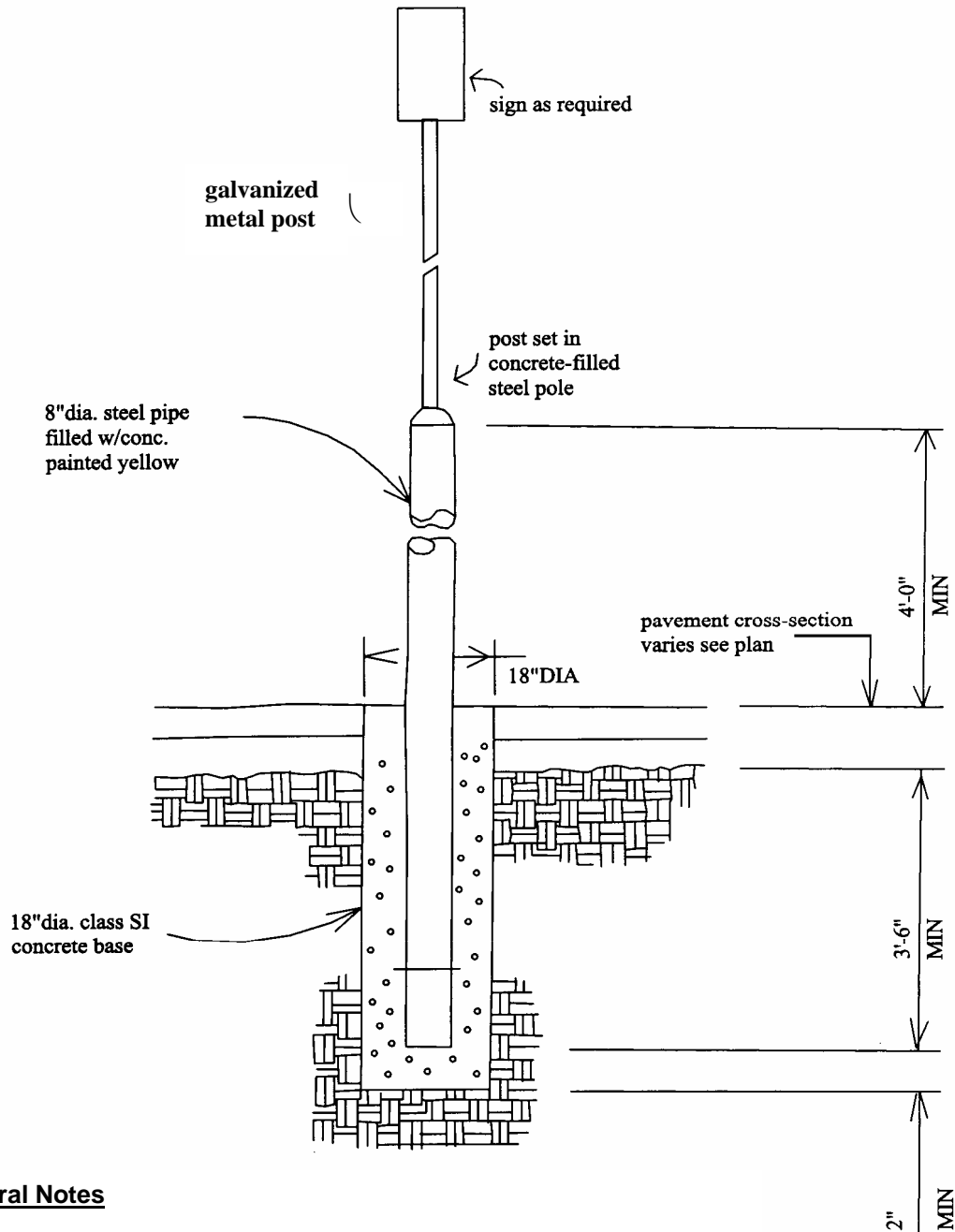


Fig. 10  
Access Aisle at Passenger Loading Zones

**VILLAGE OF VERNON HILLS  
EXHIBIT NO. 44**

**SIGN POSTS LOCATED WITHIN PAVEMENT**

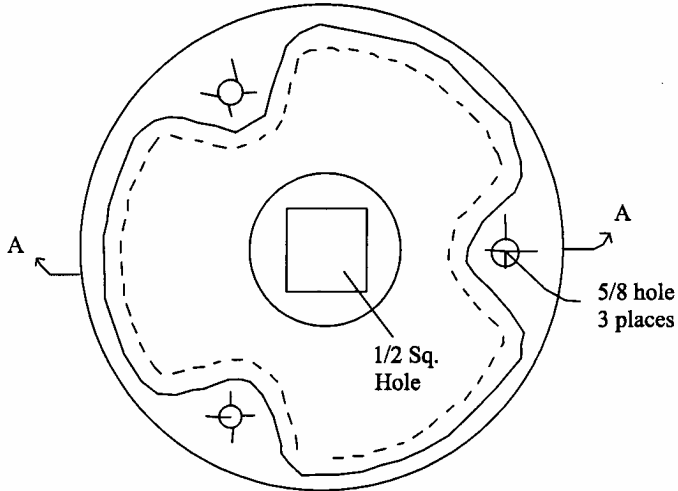


**General Notes**

1. All other sign posts not within pavement should be placed and set at a minimum of 2' from the back of curb.
2. Minimum height of Handicapped signs is 4' to bottom of sign from finished grade.
3. A galvanized metal post is recommended to prevent rust.

**VILLAGE OF VERNON HILLS  
EXHIBIT NO. 45**

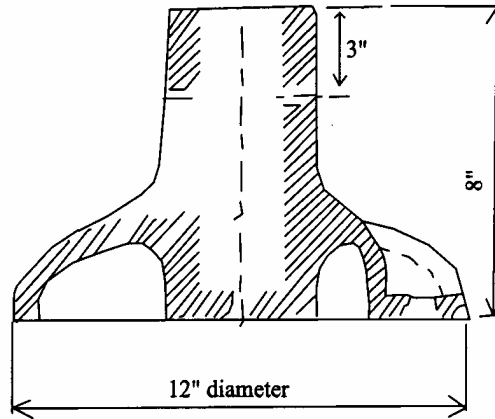
**SURFACE MOUNTED SIGN POST BASE**



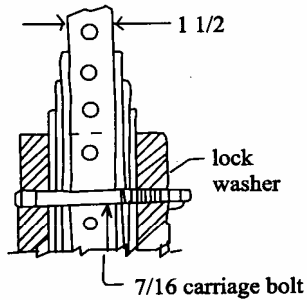
PLAN

**General Notes**

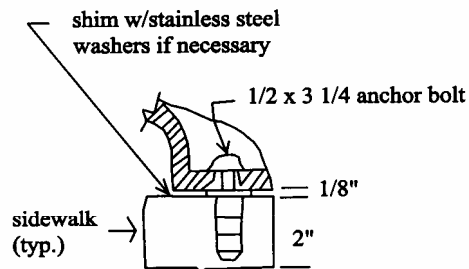
1. For signs located within pavement, refer to Ex. No. 44.
2. Minimum mounting height for signs is 7' to bottom of sign panel from finished grade.
3. Minimum mounting height is 4' to bottom of sign panel from finished grade for Handicapped sign panel .
4. A galvanized metal sign post is recommended to prevent rust.



SECTION A-A



POST ASSEMBLY DETAIL



ANCHOR BOLT  
DETAIL

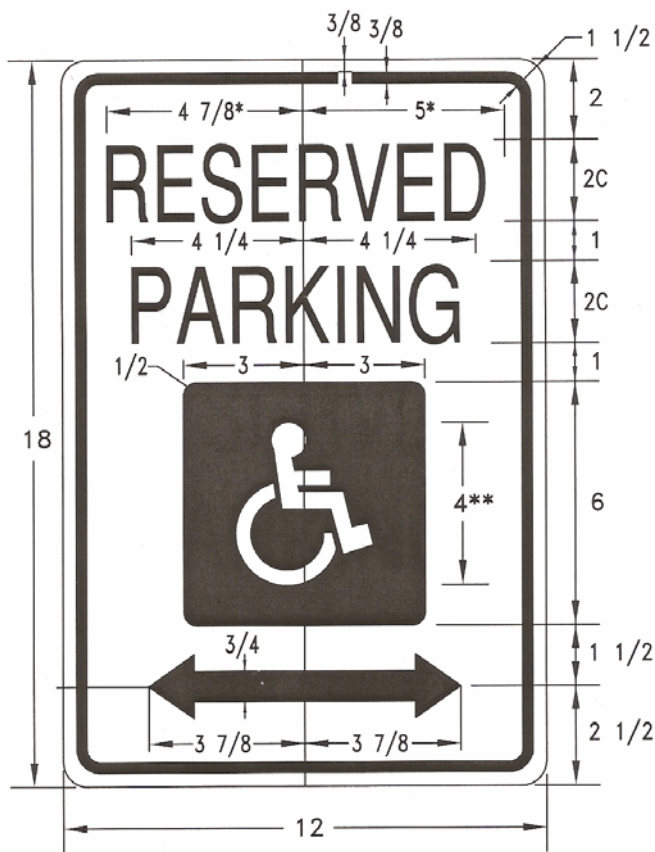
TYPICAL APPLICATION FOR SIGNS MOUNTED ON SIDEWALKS

Section 400.ILLUSTRATION C "Parking Sign"

## HANDICAPPED PARKING SIGN

Effective January 1, 1985, Public Act 83-1316 amended Sec. 11-301 of "The Illinois Vehicle Code" to require Handicapped Parking Signs (for parking lots subject to "The Illinois Vehicle Code") to comply with R 7-8 sign shown below (U.S. Department of Transportation Standard). Existing signs may remain, but their useful lives shall not be extended by other means than normal maintenance.

Note: This is a standard sign and may be ordered from any traffic sign supplier by number. The arrow should be omitted where there is only one space. The arrow may also be made to point in only one direction. The arrow may also be replaced by "time" such as 9 AM - 5 PM where a part time restriction exists. The sign must be supplemented with the Illinois Standard R7-1101 plate giving the amount of the fine for illegally parking in the reserved space(s).



R7-8

DIMENSIONS (INCHES)

COLORS

LEGEND AND BORDER—PANTONE 340C

WHITE SYMBOL ON PANATONE 286 BACKGROUND

BACKGROUND—WHITE

\* REDUCE SPACING 80%

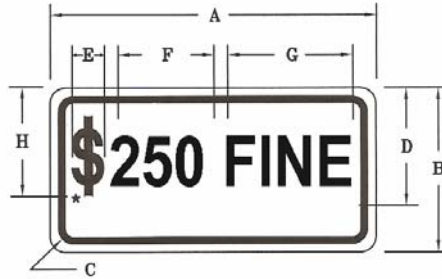
156

Rev. 12/95

Section 400.ILLUSTRATION D "\$ 250 Fine" Sign

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# ILLINOIS STANDARD R7-I101



COLOR: LEGEND AND BORDER GREEN NON-REFLECTORIZED  
(PANTONE 340C)

BACKGROUND WHITE REFLECTORIZED

SIGN SIZE	DIMENSIONS							
	A	B	C	D	E	F	G	H
12 x 6	12.0	6.0	1.5	4.5	1.19	3.53	4.6	4.0

SIGN SIZE	SERIES LINES	MAR-GIN	BOR-DER	BLK STD.
	1			
12 x 6	3A	0.37	0.37	B5-126

All Dimensions in Inches  
To be used with R7-8  
\*\$=Series 3A "s"

Where a fine in excess of \$100 is established by an Municipality By Ordinance in accordance with the statutes, the actual amount of the fine should be shown.

This plate may be mounted directly below the R7-8 sign or combined with that sign on a single 12-inch by 24-inch panel.

Note: For a fine of \$200, use F=4.0 and G=4.0 (reduce letter to letter spacing as necessary to fit).